

# VISTA WOODS APARTMENTS

4 STORY, 179 UNIT AFFORDABLE SENIOR LIVING APARTMENTS

## PROJECT DESCRIPTION

CONSTRUCTION OF A NEW 4-STORY, 179-UNIT SENIOR, 100% AFFORDABLE APARTMENT BUILDING, USING CALIFORNIA STATE CODE SECTION 69155 (STATE DENSITY BONUS LAW), PUBLICLY FUNDED THROUGH TCAC

### OVERALL SCOPE:

- DEMOLITION OF EXISTING STRUCTURES AND SITEWORK
- CONSTRUCTION OF NEW 4-STORY BUILDING OVER PARTIAL UNDERGROUND PARKING

### DESCRIPTION:

VISTA WOODS APARTMENTS INVOLVES DEMOLITION OF EXISTING STRUCTURES, SITEWORK AND CONSTRUCTION OF A NEW 4-STORY BUILDING PROVIDING 179 UNITS OF AFFORDABLE HOUSING FOR SENIORS. TENANT AMENITIES WILL INCLUDE A VARIETY OF COMMUNITY GATHERING SPACES, A FITNESS ROOM, SHARED LAUNDRY IN ADDITION TO IN-UNIT WASHER/DRYER HOOK-UPS, EXTERIOR AND GARAGE PARKING AND OFFICES FOR ON-SITE MANAGEMENT STAFF. THE LANDSCAPE DESIGN INCORPORATES A DIVERSE SET OF OUTDOOR PASSIVE AND ACTIVE RECREATION SPACES FOR RESIDENTS TO ENCOURAGE HEALTHY LIVING. DESIGNED WITH SUSTAINABILITY IN MIND, THE DEVELOPMENT WILL INTRODUCE A NEW BUS SHELTER ON SAN PABLO AVENUE IN ADDITION TO PRODUCING RENEWABLE ENERGY THROUGH ROOFTOP SOLAR PV PANELS.

## PROJECT INFORMATION

**SITE ADDRESS:**  
600 ROBLE AVENUE PINOLE CA 94564 USA  
1106 SAN PABLO AVENUE PINOLE CA 94564 USA  
1230 SAN PABLO AVENUE PINOLE CA 94564 USA

**APN:**  
402-023-007-6 (600 ROBLE AVENUE)  
402-023-003-5 (1106 SAN PABLO AVENUE)  
405-023-002-7 (1230 SAN PABLO AVENUE)

**EXISTING USE:**  
VACANT LAND W/ ABANDONED COMMERCIAL STRUCTURES

**PROPOSED USES:**  
PERMANENT SUPPORTIVE, RESTRICTED AFFORDABLE HOUSING FOR SENIORS

**LOT AREA:**  
2.01 ACRES (87,556.6 SQ FT)

### APPLICABLE CODES:

2019 CBC, 2019 CPC, 2019 CMC, 2019 CEC, 2019 TITLE 24,  
2019 CALGreen, City of Pinole Municipal Code, City of Pinole Zoning Code, City of Pinole Three Corridors Specific Plan

## LEGAL DESCRIPTIONS

**TRACT ONE:**  
PARCEL ONE:  
PORTION OF LOT E, MAP OF NOB HILL SUBDIVISION, FILED JUNE 9, 1906, MAP BOOK B, PAGE 39, CONTRA COSTA COUNTY RECORDS, DESCRIBED AS FOLLOWS:  
BEGINNING ON THE NORTH LINE OF SAN PABLO AVENUE, AS DESIGNATED ON SAID MAP, AT THE SOUTHWEST CORNER OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO WM. P. TERRY, RECORDED MAY 18, 1916, BOOK 270, DEEDS, PAGE 86, WHICH POINT BEARS WEST 174 FEET ALONG THE NORTH LINE OF SAID SAN PABLO AVENUE TO THE WEST LINE OF ROBLE AVENUE; THENCE FROM SAID POINT OF BEGINNING WEST ALONG THE NORTH LINE OF SAID SAN PABLO AVENUE, 150 FEET TO THE LINE BETWEEN LOTS D AND E; THENCE NORTHERLY ALONG THE LINE BETWEEN SAID LOTS D AND E, 104.02 FEET TO THE CORNER COMMON TO LOTS C, D, E AND F; THENCE EAST ALONG THE LINE BETWEEN SAID LOTS E AND F, 150 FEET TO THE WEST LINE OF SAID TERRY PARCEL (270 D 86); THENCE SOUTHERLY ALONG SAID WEST LINE, 126.04 FEET TO THE POINT OF BEGINNING, EXCEPTING FROM PARCEL ONE, THAT PORTION OF LAND DESCRIBED IN THE DEED TO THE STATE OF CALIFORNIA, RECORDED NOVEMBER 18, 1930, BOOK 258, OFFICIAL RECORDS, PAGE 154.

**PARCEL TWO:**  
RIGHT OF WAY GRANTED IN THE DEED TO ENNIS L. RIEMER, ET UX, RECORDED JULY 6, 1962, BOOK 4154, OFFICIAL RECORDS, PAGE 755, DESCRIBED AS FOLLOWS:  
AN UNRESTRICTED EASEMENT FOR THE PURPOSE OF ALLOWING TRESPASS OF PEDESTRIANS, VEHICLES AND ANIMALS, ALSO FOR THE CONSTRUCTION AND MAINTENANCE OF SEWER, WATER, GAS AND DRAINAGE PIPES, ALSO THE CONSTRUCTION AND MAINTENANCE OF POWER POLES AND TELEPHONE POLES, TOGETHER WITH THEIR RESPECTIVE ENCUMBRANCES, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHWEST CORNER OF LOT F, MAP OF NOB HILL SUBDIVISION, FILED JUNE 9, 1906, MAP BOOK B, PAGE 39, CONTRA COSTA COUNTY RECORDS, WHICH POINT IS ALSO THE NORTHWEST CORNER OF LOT E, AS ALSO DESIGNATED ON SAID MAP OF NOB HILL; THENCE SOUTH 84° 11' EAST ALONG THE COMMON LINE BETWEEN SAID LOTS E AND F, 150.56 FEET (DEED DISTANCE OF 150 FEET) TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 83° 20' EAST ALONG LAST MENTIONED COMMON LINE BETWEEN LOTS E AND F, 12.41 FEET; THENCE SOUTH 6° 04' WEST, 102.68 FEET TO THE NORTHERLY LINE OF SAN PABLO AVENUE (FORMERLY U.S. 40); THENCE NORTH 83° 56' WEST ALONG SAID LAST MENTIONED NORTHERLY LINE, 28.20 FEET; THENCE NORTH 14° 48' 16" WEST ALONG A LINE COMMON ALSO TO PARCEL ONE OF THIS DESCRIPTION, 104.02 FEET TO THE TRUE POINT OF BEGINNING.

**TRACT TWO:**  
PARCEL ONE:  
LOT F, MAP OF NOB HILL SUBDIVISION, FILED JUNE 9, 1906, MAP BOOK B, PAGE 39, CONTRA COSTA COUNTY RECORDS.  
PARCEL TWO:  
77.15 FEET TO THE POINT OF COMMENCEMENT.  
RIGHT OF WAY GRANTED IN THE DEED TO DONALD H. ARBUCKLE, ET UX, RECORDED JULY 6, 1962, BOOK 4154, OFFICIAL RECORDS, PAGE 756, DESCRIBED AS FOLLOWS:  
AN UNRESTRICTED EASEMENT FOR THE PURPOSE OF ALLOWING TRESPASS OF PEDESTRIANS, VEHICLES AND ANIMALS, ALSO FOR THE CONSTRUCTION AND MAINTENANCE OF SEWER, WATER, GAS AND DRAINAGE PIPES, ALSO THE CONSTRUCTION AND MAINTENANCE OF POWER POLES AND TELEPHONE POLES, TOGETHER WITH THEIR RESPECTIVE ENCUMBRANCES, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHWEST CORNER OF LOT F, MAP OF NOB HILL SUBDIVISION, FILED JUNE 9, 1906, MAP BOOK B, PAGE 39, CONTRA COSTA COUNTY RECORDS, WHICH POINT IS ALSO THE NORTHWEST CORNER OF LOT E, AS ALSO DESIGNATED ON SAID MAP OF NOB HILL; THENCE SOUTH 84° 11' EAST ALONG THE COMMON LINE BETWEEN SAID LOTS E AND F, 150.56 FEET (DEED DISTANCE OF 150 FEET) TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 83° 20' EAST ALONG LAST MENTIONED COMMON LINE BETWEEN LOTS E AND F, 12.41 FEET; THENCE SOUTH 6° 04' WEST, 102.68 FEET TO THE NORTHERLY LINE OF SAN PABLO AVENUE (FORMERLY U.S. 40); THENCE NORTH 83° 56' WEST ALONG SAID LAST MENTIONED NORTHERLY LINE, 28.20 FEET; THENCE NORTH 14° 48' 16" WEST ALONG A LINE COMMON ALSO TO PARCEL ONE OF THIS DESCRIPTION, 104.02 FEET TO THE TRUE POINT OF BEGINNING.

COMMENCING AT THE SOUTHWEST CORNER OF LOT F, MAP OF NOB HILL SUBDIVISION, FILED JUNE 9, 1906, MAP BOOK B, PAGE 39, CONTRA COSTA COUNTY RECORDS, WHICH POINT IS ALSO THE NORTHWEST CORNER OF LOT E, AS ALSO DESIGNATED ON SAID MAP OF NOB HILL; THENCE SOUTH 84° 11' EAST ALONG THE COMMON LINE BETWEEN SAID LOTS E AND F, 150.56 FEET (DEED DISTANCE OF 150 FEET) TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 83° 20' EAST ALONG LAST MENTIONED COMMON LINE BETWEEN LOTS E AND F, 12.41 FEET; THENCE SOUTH 6° 04' WEST, 102.68 FEET TO THE NORTHERLY LINE OF SAN PABLO AVENUE (FORMERLY U.S. 40); THENCE NORTH 83° 56' WEST ALONG SAID LAST MENTIONED NORTHERLY LINE, 28.20 FEET; THENCE NORTH 14° 48' 16" WEST ALONG A LINE COMMON ALSO TO PARCEL ONE OF THIS DESCRIPTION, 104.02 FEET TO THE TRUE POINT OF BEGINNING.

**PARCEL THREE:**  
RIGHT OF WAY GRANTED IN THE DEED TO D.S.W., A PARTNERSHIP, RECORDED AUGUST 26, 1970, BOOK 6011, OFFICIAL RECORDS, PAGE 584, DESCRIBED AS FOLLOWS: A RIGHT OF WAY (NOT TO BE EXCLUSIVE) FOR USE AS A ROADWAY FOR VEHICLES OF ALL KINDS, PEDESTRIANS AND ANIMALS, FOR WATER, GAS, OIL AND SEWER PIPE LINES AND FOR TELEPHONE, TELEVISION SERVICE, ELECTRIC LIGHT AND POWER LINES, TOGETHER WITH THE NECESSARY POLES OR CONDUITS, AS AN APPURTENANCE TO PARCEL ONE ABOVE, OVER A PORTION OF LOT E, MAP OF NOB HILL SUBDIVISION, FILED JUNE 9, 1906, MAP BOOK B, PAGE 39, CONTRA COSTA COUNTY RECORDS, DESCRIBED AS FOLLOWS:  
BEGINNING ON THE NORTH LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO EDGAR M. TILGHMAN, ET UX, RECORDED JULY 3, 1964, BOOK 4672, OFFICIAL RECORDS, PAGE 528, DISTANT THEREON SOUTH 83° 20' EAST, 12.41 FEET FROM THE NORTHWEST CORNER THEREOF; THENCE FROM SAID POINT OF BEGINNING NORTH 83° 20' WEST ALONG SAID NORTH LINE, 12.41 FEET TO THE WEST LINE OF SAID TILGHMAN PARCEL; THENCE SOUTH 14° 48' 16" WEST ALONG SAID WEST LINE, 104.02 FEET TO THE NORTH LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO THE STATE OF CALIFORNIA, RECORDED NOVEMBER 18, 1930, BOOK 262, OFFICIAL RECORDS, PAGE 86; THENCE SOUTH 83° 56' EAST ALONG SAID NORTH LINE, 28.20 FEET TO A POINT WHICH BEARS SOUTH 6° 04' WEST FROM THE POINT OF BEGINNING; THENCE NORTH 6° 04' EAST, 102.68 FEET TO THE POINT OF BEGINNING.

**TRACT THREE:**  
LOT 17, AS DESIGNATED ON THE MAP ENTITLED, "MAP OF NOB HILL SUBDIVISION OF PINOLE," WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA, ON JUNE 1, 1906 IN VOLUME 9 OF MAPS, AT PAGE 39, EXCEPTING THEREFROM THAT PARCEL LAND DESCRIBED IN THE DEED FROM PHILIP R. MOIGNARD, ET UX, TO STATE OF CALIFORNIA, DATED DECEMBER 4, 1924, AND RECORDED NOVEMBER 18, 1930 IN VOLUME 253 OF OFFICIAL RECORDS, AT PAGE 148, AS FOLLOWS:  
COMMENCING AT A POINT ON THE EASTERLY LINE OF LOT D, AS SHOWN ON MAP ENTITLED, "MAP OF THE NOB HILL SUBDIVISION OF PINOLE," FILED IN THE OFFICE OF THE RECORDER OF CONTRA COSTA COUNTY, CALIFORNIA, JUNE 9, 1906, WHICH POINT IS SOUTH 13° 14' WEST 103.79 FEET, MEASURED ALONG THE SAID EASTERLY LINE OF LOT D FROM THE NORTHEASTERLY CORNER OF SAID LOT D AND RUNNING THENCE AS FOLLOWS: SOUTH 13° 24' WEST ALONG THE SAID EASTERLY LINE OF LOT D, 22.25 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT D; THENCE NORTH 34° 51' WEST ALONG THE SOUTHERLY LINE OF SAID LOT D, 300.41 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT D; THENCE NORTH 13° 13' 30" EAST ALONG THE WESTERLY LINE OF SAID LOT D, 23.47 FEET; THENCE SOUTH 84° 54' EAST 132.51 FEET TO A POINT, FROM WHICH THE CENTER OF A CURVE TO THE RIGHT OF 10.040 FEET RADIUS, BEARS SOUTH 6° 08' WEST THENCE ALONG THIS CURVE 90.53 FEET; THENCE SOUTH 64° 21' EAST



## PROJECT DIRECTORY

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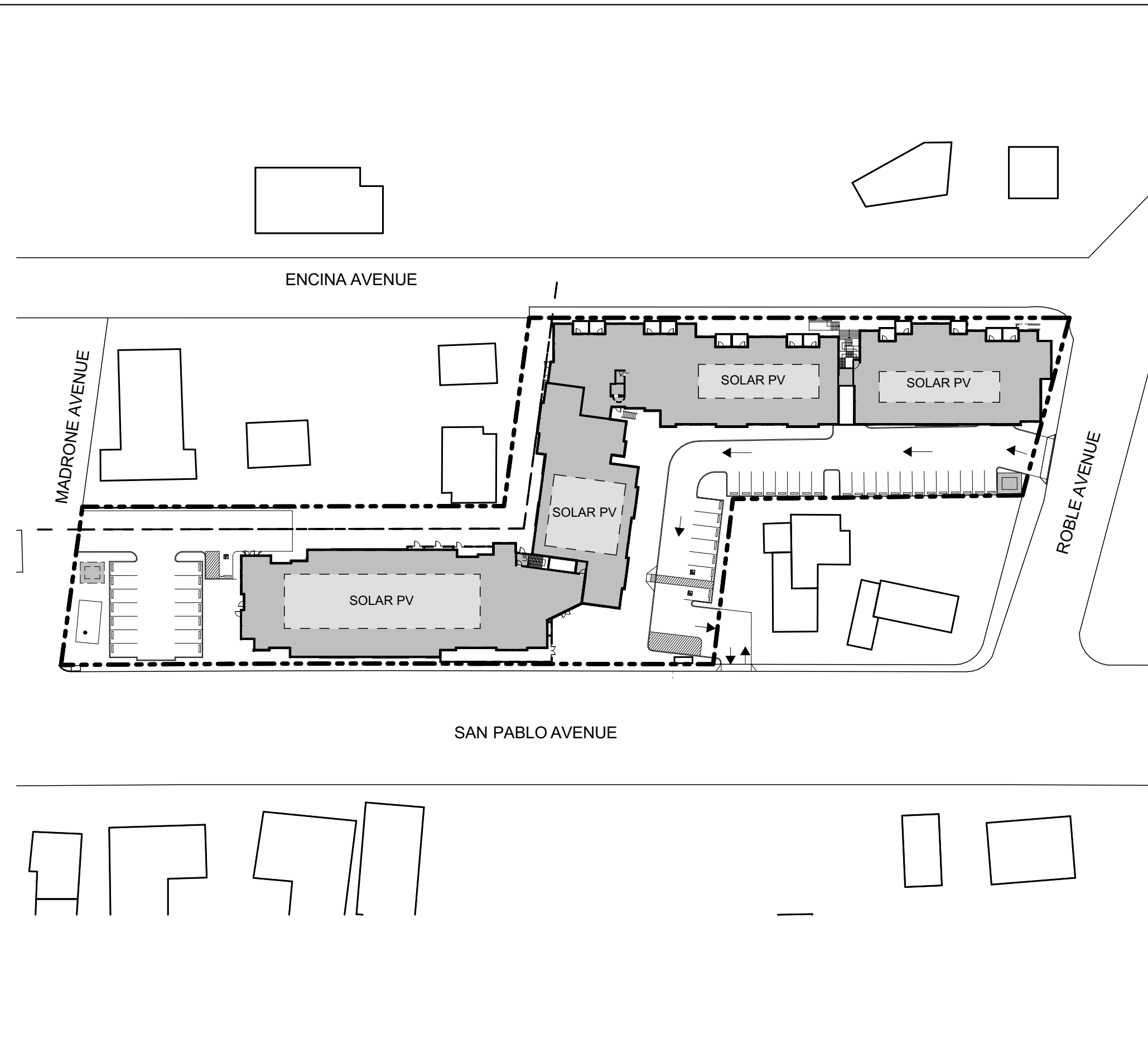
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**GENERAL CONTRACTOR:**  
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## PLOT MAP: NTS



## VICINITY MAP: NTS



## VISTA WOODS APARTMENTS

600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

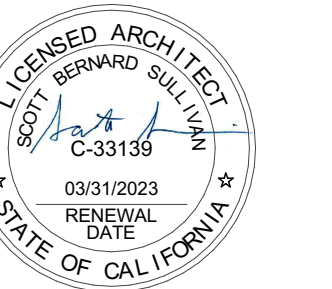
## Title Sheet

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

SHEET  
A000

RELATIVITY  
ARCHITECTS



100 W. 9th St., Suite 100, Pinole, CA 94662  
421 CLAYTON STREET, FLOOR 2, L.A. CA 90013 P: 310.573.4300



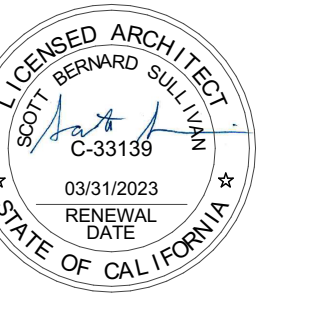
ABBREVIATIONS

<b>A</b>		<b>M</b>	
ACCESS	ACCESSORY	MAX	MAXIMUM
ACOUS	ACOUSTIC(AL)	MFD	MANUFACTURED
AFF	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
AL	ALUMINUM	MECH	MECHANICAL
ALT	ALTERNATE	MEMB	MEMBRANE
ANUNC	ANNUNCIATOR	MEZZ	MEZZANINE
ANOD	ANODIZED	MW	MICROWAVE OVEN
APPL	APPLIANCE	MIN	MINIMUM
ARCH	ARCHITECT(URAL)	MISC	MISCELLANEOUS
AUTO	AUTOMATIC	MLVK	MILLWORK
AVG	AVERAGE	MOIST	MOISTURE
<b>B</b>		MOT	MOTORIZED
BLDG	BUILDING	MTD	MOUNTED
BOLL	BOLLARD	MTL	METAL
BD	BOARD	N	
BLKG	BLOCKING	NIC	NOT IN CONTRACT
BREDM	BROADLOOM	NO	NUMBER
BU	BUILT UP	NTS	NOT TO SCALE
<b>C</b>		<b>O</b>	
CAB	CABINET	ORNA	ORNAMENTAL
CPT	CARPET	OVFL	OVERFLOW
CBM	CEMETITIOUS	OVHD	OVERHEAD
CER	CERAMIC	OPNG	OPENING(S)
CLG	CEILING	OPR	OPERABLE
COATG	COATING	<b>P</b>	
COILG	COILING	PTN	PARTITION
CONC	CONCRETE	PEDTR	PEDESTRIAN
CONSTR	CONSTRUCTION	PBD	PARTICLE BOARD
CONT	CONTINUOUS(ACTION)	PNL	PANEL
CONTR	CONTRACT(OR)	POLYST	POLYSTYRENE
COV	COVER	PORT	PORTABLE
CMU	CONCRETE MASONRY UNIT	PREFIN	PREFINISHED
<b>D</b>		PREFAB	PREFABRICATED
DBL	DOUBLE	PLAM	PLASTIC LAMINATE
DEPT	DEPARTMENT	PLAS	PLASTER
DES	DESIGNED	PLSTC	PLASTIC LAMINATE
DET	DETAIL	PLYWD	PLYWOOD
DF	DRINKING FOUNTAIN	PRTECN	PROTECTION
DA	DIAMETER	<b>R</b>	
DIFF	DIFFUSER	RDR	READER
DIM	DIMENSION	RECES	RECESSED
DISP	DISPENSER	RECPY	RECEPTACLE
DV	DIVISION	REF	REFER(ENCE)
DN	DOWN	REFL	REFLECTED
DR	DOOR	REFR	REFRIGERATOR
DSCON	DISCONNECT	REQD	REQUIRED
DW	DISHWASHER	RESIS	RESISTANT(V/E)
DWR	DRAWER	RENF	REINFORCE(D)(ING)(MENT)
<b>E</b>		RESIL	RESILIENT
ELAST	ELASTOMERIC	RFNG	ROOFING
ELEC	ELECTRICAL	RM	ROOM
EMBED	EMBED(DED)(DING)	RO	ROUGH OPENING
ENGR	ENGINEER(ED)	<b>S</b>	
ENTR	ENTRANCE	SCR	SCRIBE
EQ	EQUAL	SECU	SECURITY
EQUIP	EQUIPMENT	SF	SQUARE FEET
EXIST	EXISTING	SGL	SINGLE
EXPJT	EXPANSION JOINT	SHORG	SHORING
EXPS	EXPOSE(D)	SIM	SIMILAR
EXT	EXTERIOR	SS	STAINLESS STEEL
<b>F</b>		STD	STANDARD
FAB	FABRICATION	STL	STEEL
FD	FLOOR DRAIN	STRFR	STOREFRONT
FE	FIRE EXTINGUISHER	STRUCT	STRUCTURAL
FEC	FIRE EXTINGUISHER & CABINET	SURF	SURFACE
FHC	FIRE HOSE CABINET	SUSP	SYSTEM(S)
FIN	FINISH	SYS	
FLDG	FOLDING	<b>T</b>	
FPLC	FIREPLACE	THK	THICK
FR	FIRE RATE(D)(ING)	TLT	TOILET
FRMG	FRAMING	TRAF	TRAFFIC
FXD	FXED	TRANS	TRANSPARENT
FXTR	FXTURE	TRTD	TREATED
FLR	FLOOR(ING)	T&G	TONGUE-AND-GROOVE
FURN	FURNITURE	TYP	TYPICAL
FVC	FABRIC WALL COVERING	<b>U</b>	
<b>G</b>		UNDRLAY	UNDERLAYMENT
GA	GALUGE	UTIL	UTILITY
GFRG	GLASS FIBER REINFORCED CONCRETE	UNO	UNLESS NOTED OTHERWISE
GFRG	GLASS FIBER REINFORCED GYPSUM	<b>V</b>	
GFRP	GLASS FIBER REINFORCED PLASTER	VEH	VEHICLE(ULAR)
GL	GLASS	VERT	VERTICAL
GR	GRADE(ING)	VIF	VERIFY IN FIELD
GYP	GYPSUM	<b>WD</b>	
<b>H</b>		WD	STACKED WASHER AND DRYER
HD	HEAD	<b>SYMBOLS</b>	
HDWD	HARDWOOD	@	AT
HDWE	HARDWARE	&	AND
HM	HOLLOW METAL	~	ABOUT APPROXIMATELY
<b>K</b>		%	PERCENT(AGE)
KIT	KITCHEN	#	ROUND
<b>L</b>		€	EURO(S)
LAV		£	POUND(S) STERLING
LB(S)	POUND(S)	\$	UNITED STATES DOLLAR(S)
LT	LIGHT		
LVLG	LEVELING		
LVR	LOUVER		

<b>SYMBOLS</b>	
	Building Grid Lines
	Reference Number
	Window Symbol
	Door Symbol
	Detail
	Area Detail Reference
	Reference Number
	Wall Type
	Interior Elevation
	Revision Number
	Revision Cloud (cloud around rev. optional)
	Reference Number
	Appliance Symbol
	Work Point Control Point or Datum Point
	Exterior Elevation
	Wall Section
	Room Identification
	North Arrow
	Nominal Ceiling Height

RELATIVITY ARCHITECTS

421 CANTON STREET, FLOOR 2, L.A. CA 90013 P: 310.573.6300



VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
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Abbreviations & Symbols

DATE	ISSUE
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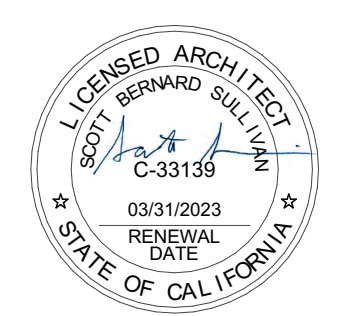
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ARCH. JOB NO.	2103A
SCALE	AS NOTED

SHEET  
**A001**



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A091	Topo Survey	•••		
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C1.2	Site and Paving Plan	•••		
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C2.3	Precise Grading and Drainage Plan	•••		
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L8.10	Planting Plan	•••		
L8.11	Planting Plan	•••		
L8.12	Planting Plan	•••		
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A420	Wing A & B - Building Sections (E-W)	•••		
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A554	Type B One-Bedroom - Floor Plan	•••		
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RELATIVITY ARCHITECTS



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VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

**Sheet Index**

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DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

SHEET  
**A002**



June 17, 2021

**(INCENTIVES SUMMARY):**

**03**

**PROJECT:** Vista Woods Apartments  
**PROJECT NO.:** 2103A  
**PROJECT LOCATION:** 600 Roble Ave  
**TO:** City of Pinole  
**RE:** Zoning Incentives  
**ISSUE DATE:** June 18, 2021

The Vista Woods Apartments is a proposed affordable housing development for seniors at a site located along San Pablo Avenue and Roble Avenue. This project will provide 179 units of housing with on-site management services, community amenities and landscaping. This document serves as a summary for the provisions of the project as it qualifies for development standard reductions and incentives through the State Density Bonus. It's conformance to the standards of this law preclude it from requiring any other discretionary approvals.

This project qualifies for incentives and exemptions per the State Density Bonus Law (SDBL), *California Code Section 65915 in effect 1/1/2021:*

1. Qualifications of building per the SDBL:
  - a. 100% deed-restricted affordable to low-income households
  - b. 100% deed-restricted dwelling units to senior housing
  - c. Site is within ¼ mile of a bus stop with service greater than 8 times per day (additionally, this project proposes to provide a new bus stop shelter on San Pablo Avenue on site)
2. Requests of this project that shall be automatically granted per the SDBL:
  - a. Zero parking required
  - b. 80% Density Bonus
  - c. Four (4) incentives / concessions
  - d. Waivers or reductions of development standards

This project requests the following, as proposed in the Planning Application, submitted June 18, 2021:

- I. Zero parking as base requirement per SDBL 65915(p)(3)(B)
  - a. Project proposes Eighty eight(88) parking stalls, which is 88 above required
- II. 80% Density Bonus per SDBL 65915(d)(3)(D)(i)
  - o Site Area = 2.017 acres
  - o Minimum Base Density per Pinole Municipal Code: 35.1 units per acre
    - 35.1 \* 2.017 acres = 70.79 units
  - o Maximum Base Density per Pinole Municipal Code 50.0 units per acre
    - 50.0 \* 2.017 acres = 100.85 units
  - o State Density Bonus of 80%
    - 70.79 units \* 1.80 = 127.42 which rounds up to 128 units min density
    - 100.85 units \* 1.80 = 181.53 which rounds up to 182 units max density
    - Proposed total units is 179
- III. Three (3) Incentives / Concessions per SDBL 65915(d)(2)(D)



421 COLYTON STREET, 2<sup>ND</sup> FLOOR, LOS ANGELES, CA 90013 P: 310.573.4300

- a. Reduction of Setbacks
  - i. Side Yard at northern property boundary along Encina Avenue to be between 1'-0" and 14'-10" in lieu of required 15'; all other setback requirements are met
- b. Reduction of Open Space (17.24.030) 300 sf/unit
  - i. Per Zoning Code standard it requires a total of 53,700 total open space
- c. Increased Height
  - i. At the Eastern portion of the building facing Roble Avenue (for 82'-11" of building length going east to west), the proposed height is 60'-7" at the tallest, measuring from the lowest adjacent grade most eastern moment. The remainder of the building is beneath the 50'-0" maximum height requirement
- IV. Waivers of Development Standards per SDBL 65915(e)(1) and (2)
  - a. Compact Parking (17.48.090) - 20% maximum compact parking stall ratio shall be waived to allow for proposed 62.5% ratio.
  - b. Chapter 6, Section C, paragraph 2 (i) (Figure 6.4, Special Height Requirement (Rear and Side Setback)) - 45-degree step-backs at upper stories to be waived and are not provided in proposed building.
  - c. Chapter 6, Section C, paragraph 2 (i) (Figure 6.4, Special Height Requirement (Across the Street Setback)) - 45-degree step-backs at upper stories to be waived and are not provided in proposed building.
  - d. Parking lot shade standards (17.44.060-3) - Parking lot shade requirement per Pinole Municipal Code to be waived.

*APPLICABLE STATE DENSITY BONUS LAW PROVISIONS  
 CALIFORNIA CODE SECTION 65915 (IN EFFECT 1/1/2021)*

...  
 65915(a)(2):  
*(2) A local government shall not condition the submission, review, or approval of an application pursuant to this chapter on the preparation of an additional report or study that is not otherwise required by state law, including this section. This subdivision does not prohibit a local government from requiring an applicant to provide reasonable documentation to establish eligibility for a requested density bonus, incentives or concessions, as described in subdivision (d), waivers or reductions of development standards, as described in subdivision (e), and parking ratios, as described in subdivision (p).*

...  
 65915(b)(1)(G):  
*(G) One hundred percent of all units in the development, including total units and density bonus units, but exclusive of a manager's unit or units, are for lower income households, as defined by Section 50079.5 of the Health and Safety Code, except that up to 20 percent of the units in the development, including total units and density bonus units, may be for moderate-income households, as defined in Section 50053 of the Health and Safety Code.*

...  
 65915(d)(2):  
*(2) The applicant shall receive the following number of incentives or concessions:*



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...  
 65915(d)(2)(D):  
*(D) Four incentives or concessions for projects meeting the criteria of subparagraph (G) of paragraph (1) of subdivision (b). If the project is located within one-half mile of a major transit stop, the applicant shall also receive a height increase of up to three additional stories, or 33 feet.*

...  
 65915(d)(3)(D):  
*(D) For housing developments meeting the criteria of subparagraph (G) of paragraph (1) of subdivision (b), the following shall apply:  
 (i) Except as otherwise provided in clause (ii), the density bonus shall be 80 percent of the number of units for lower income households.*

...  
 65915(e)(1)  
*(1) In no case may a city, county, or city and county apply any development standard that will have the effect of physically precluding the construction of a development meeting the criteria of subdivision (b) at the densities or with the concessions or incentives permitted by this section. Subject to paragraph (3), an applicant may submit to a city, county, or city and county a proposal for the waiver or reduction of development standards that will have the effect of physically precluding the construction of a development meeting the criteria of subdivision (b) at the densities or with the concessions or incentives permitted under this section, and may request a meeting with the city, county, or city and county.*

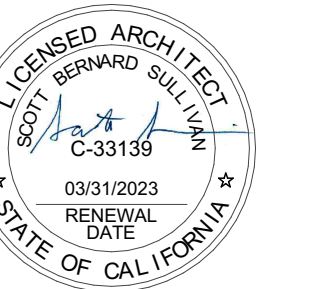
...  
 65915(e)(2)  
*(2) A proposal for the waiver or reduction of development standards pursuant to this subdivision shall neither reduce nor increase the number of incentives or concessions to which the applicant is entitled pursuant to subdivision (d).*

...  
 65915(p)(3)  
*(3) Notwithstanding paragraph (1), if a development consists solely of rental units, exclusive of a manager's unit or units, with an affordable housing cost to lower income families, as provided in Section 50052.5 of the Health and Safety Code, then, upon the request of the developer, a city, county, or city and county shall not impose vehicular parking standards if the development meets either of the following criteria:*

...  
 65915(p)(3)(B)  
*(B) The development is a for-rent housing development for individuals who are 62 years of age or older that complies with Sections 51.2 and 51.3 of the Civil Code and the development has either paratransit service or unobstructed access, within one-half mile, to fixed bus route service that operates at least eight times per day.*



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VISTA WOODS APARTMENTS  
 600 ROBLE AVENUE  
 1106 SAN PABLO AVENUE  
 1230 SAN PABLO AVENUE  
 PINOLE, CA, 94564

Incentives Letter

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/18/2021	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

SHEET  
**A003**





4. ENCINA AVENUE LOOKING SOUTH WEST



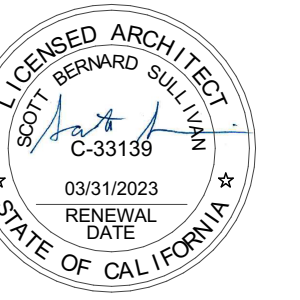
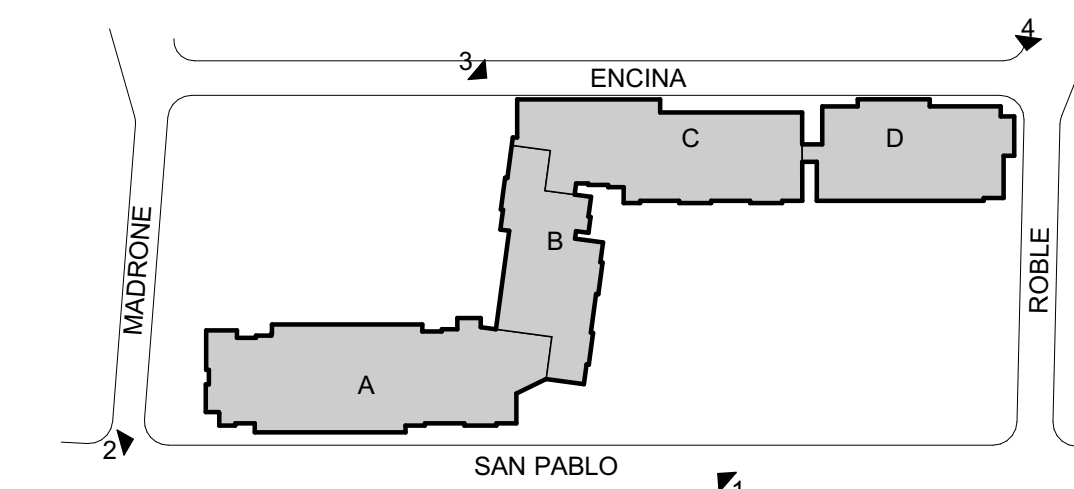
3. ENCINA AVENUE LOOKING SOUTH EAST



2. AERIAL VIEW LOOKING NORTH EAST



1. CONCEPTUAL VIEW FROM SAN PABLO AVENUE LOOKING WEST



VISTA WOODS APARTMENTS  
600 ROBBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

3D Views

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY: EC  
ARCH. JOB NO.: 2103A  
SCALE: AS NOTED

SHEET  
**A004**



# ZONING ANALYSIS

**APN**  
 402-023-007-6 (600 ROBLE AVENUE)  
 402-023-003-5 (1106 SAN PABLO AVENUE)  
 405-023-002-7 (1230 SAN PABLO AVENUE)

**ZONING**  
 R-4: VERY HIGH DENSITY RESIDENTIAL  
 CMU: COMMERCIAL MIXED-USE  
 SITE FALLS WITHIN THE THREE CORRIDORS SPECIFIC PLAN,  
 SAN PABLO AVENUE, MIXED-USE SUB-AREA

**SITE AREA**  
 88,053.8 SF = 2.01 ACRES

**SITE UTILIZATION**  
 Current Use: Vacant land w/ abandoned commercial structures  
 Proposed Use: Permanent Supportive, Restricted Affordable Housing for Seniors

**RESIDENTIAL DENSITY**  
 R-4:  
 35.1 min. units per acre: 35.1 \* 2.01 acres = 70.5 units  
 State Density Bonus of 80%: 70.5 X 1.80 = 126.9 units  
 50.0 max. units per acre: 50.0 \* 2.01 acres = 100.5 units  
 State Density Bonus of 80%: 100.5 X 1.80 = 180.9 units  
 TOTAL ALLOWED: 128-182 UNITS  
 TOTAL PROPOSED: 179 UNITS

**SETBACKS**  
 See setback diagram on this sheet, 01/A010.

**ZONING MAX HEIGHT:**  
 50'-0", 4 Stories

**2019 CBC MAX HEIGHT:**  
 60'-0" (CBC Table 504.3)

**PROPOSED HEIGHT:**  
 60'-7" (Max Height) 4 Stories + Parking  
 43'-6" (Avg. Height)

**PROPOSED BLDG AREA:**  
 184,349 sq ft

# BUILDING STATISTICS

**CONSTRUCTION TYPE:**  
 TYPE VA, OVER TYPE I PODIUM (PARTIAL)

**MIXED OCCUPANCY:**  
 PARKING - S2  
 OFFICES - B  
 ASSEMBLY - A3  
 MULTIFAMILY - R2

**FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS (TABLE 601) TYPE IA CONSTRUCTION**

BUILDING ELEMENT	RATING IN HOURS
STRUCTURAL FRAME	3
EXTERIOR BEARING WALLS	3
INTERIOR BEARING WALLS	3
EXTERIOR NON-BEARING WALLS AND PARTITIONS	1
INTERIOR NON-BEARING WALLS AND PARTITIONS	0
FLOOR CONSTRUCTION	2
ROOF CONSTRUCTION	1.5

(FOOTNOTE 'g' FOR EXTERIOR BEARING WALLS, CBC TABLE 602 - X>30 = 0)

**FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS (TABLE 601) TYPE V-A CONSTRUCTION**

BUILDING ELEMENT	RATING IN HOURS
STRUCTURAL FRAME	1
EXTERIOR BEARING WALLS	1
INTERIOR BEARING WALLS	1
EXTERIOR NON-BEARING WALLS AND PARTITIONS	1
INTERIOR NON-BEARING WALLS AND PARTITIONS	0
FLOOR CONSTRUCTION	1
ROOF CONSTRUCTION	1

(FOOTNOTE 'g' FOR EXTERIOR BEARING WALLS, CBC TABLE 602 - X>30 = 0)

## UNIT TYPE SUMMARY

	0 BR	1 BR	2 BR	TOTAL
1ST FLOOR	4	29	8	41
2ND FLOOR	4	33	9	46
3RD FLOOR	4	33	9	46
4TH FLOOR	4	33	9	46
TOTAL	16	128	35	179

## UNIT CALCULATIONS

AREA PER UNIT TYPE			
UNIT TYPE	0-BR UNIT	1-BR UNIT	2-BR UNIT
NET AREA PER UNIT	446 SF	500 SF	770 SF
QTY	16	128	35
TOTAL AREA PER UNIT TYPE	7,136 SF	64,000 SF	27,720 SF

## AUTOMOBILE PARKING SUMMARY

NO PARKING REQUIRED PER SDBL 65915(p)(3)(B)

**PROPOSED PARKING:**

STANDARD	27
COMPACT	56
ACCESSIBLE	3
ACCESSIBLE VAN	2
<b>TOTAL PARKING PROVIDED</b>	<b>88</b>
QTY PARKING W/ EV HOOK-UPS	2

100% STALLS WILL BE EV READY

## BICYCLE PARKING SUMMARY

MULTI-FAMILY RESIDENTIAL PER CITY OF PINOLE  
 THREE CORRIDOR SPECIFIC PLAN - CHAPTER 7.3.2.c.i

1 SPACE PER OCCUPANT FOR 30% OF THE PLANNED OCCUPANCY BUT NO FEWER THAN ONE PER UNIT  
 179 UNITS = 179 RESIDENTIAL BICYCLE PARKING SPACE

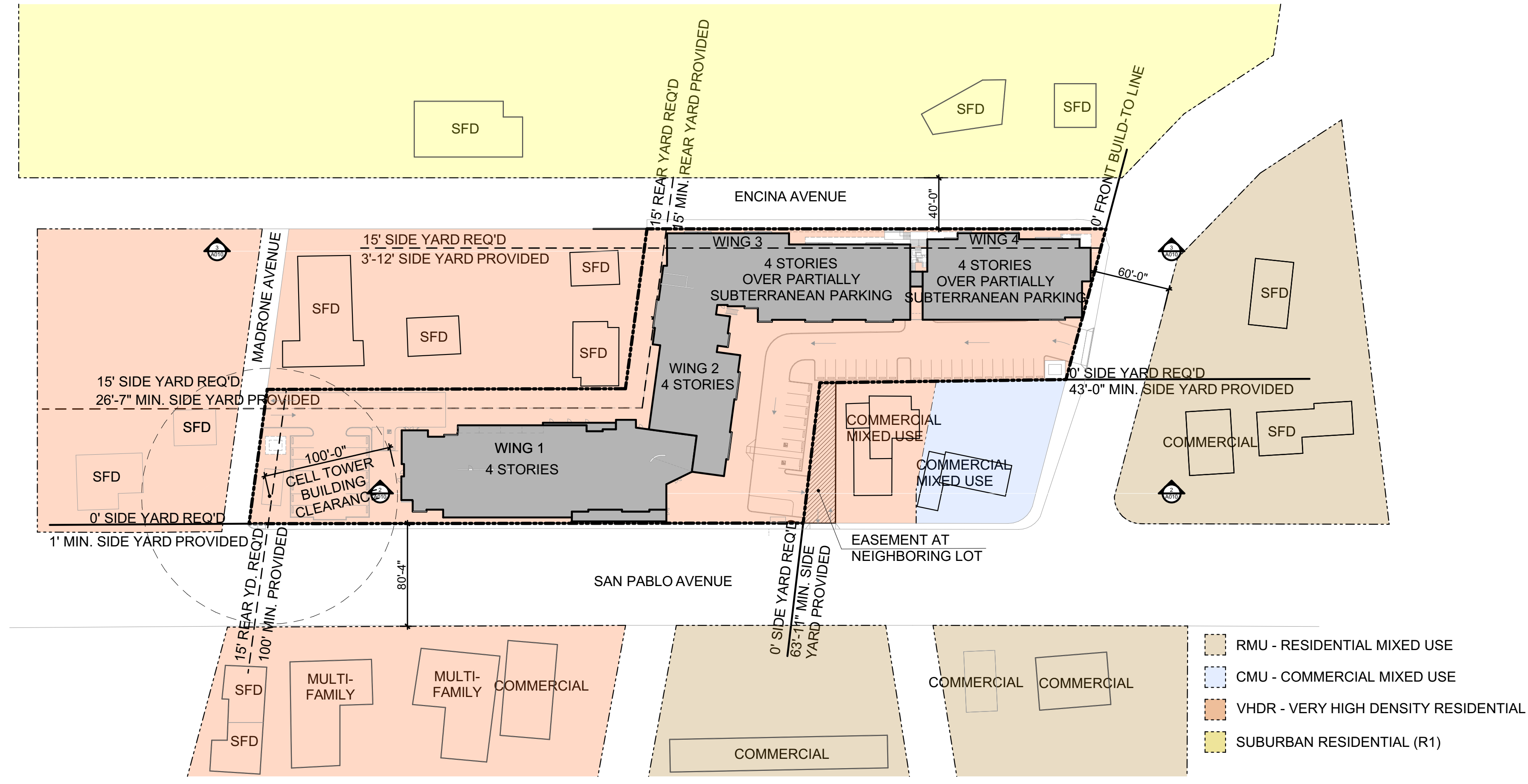
VISITOR BICYCLE RACKS ON SITE  
 1 BICYCLE SPACE PER 10 DWELLING UNITS  
 179/10 = 18 VISITOR BICYCLE PARKING SPACES

TOTAL REQUIRED = 197 BICYCLE SPACES  
 TOTAL PROVIDED = 207 BICYCLE SPACES

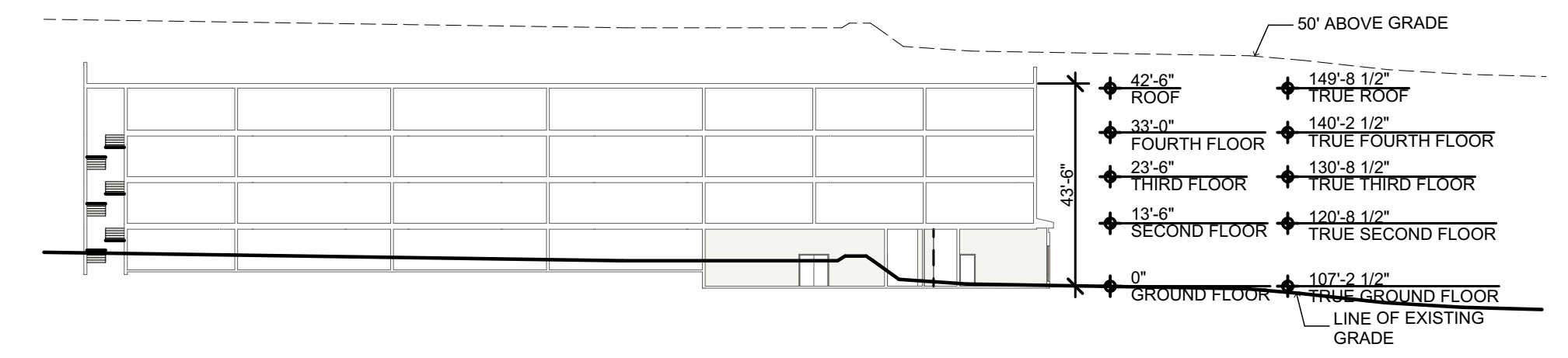
PER PINOLE MC 17.48.120.F.5  
 IF PROVIDED WITHIN UNIT, RACKS OR LOCKERS ARE NOT REQUIRED.  
 179 RESIDENTIAL BICYCLE PARKING SPACES WILL BE PROVIDED WITHIN UNIT.

ROOM AREAS SCHEDULE*	
FLOOR	ROOM NAME
<b>UNDERGROUND PARKING</b>	
	BOOSTER PUMP RM. 131
	ELEC. RM. 218
	ELECTRICAL ROOM 384
	ELVR 63
	MECH. ROOM 189
	PARKING 17,502
	STAIR 736
	TRASH 119
	UTIL. 47
	<b>19,389 sq ft</b>
<b>GROUND FLOOR</b>	
	0-BR UNIT 1,784
	1-BR UNIT 14,521
	2-BR UNIT 6,158
	DINING/ GAMES 854
	ELEC. RM. 229
	ELVR 256
	ELVR 205
	ENTRY LOBBY 2,078
	FITNESS 489
	IDF 88
	IDF 104
	KITCHEN 583
	LAUNDRY 439
	OFFICE 678
	STAIR 1,557
	STO. 122
	TRASH 74
	TRASH RM. 146
	TV/ LIVING 633
	W/C 201
	WING 3 LOBBY 530
	<b>31,729 sq ft</b>
<b>SECOND FLOOR</b>	
	0-BR UNIT 1,778
	1-BR UNIT 16,503
	2-BR UNIT 6,904
	ELVR LOBBY 1 1,119
	ELVR 205
	IDF 166
	STAIR 594
	STAIR 565
	TRASH 158
	WING 3 LOBBY 530
	<b>28,520 sq ft</b>
<b>THIRD FLOOR</b>	
	0-BR UNIT 1,787
	1-BR UNIT 16,500
	2-BR UNIT 6,920
	ELVR LOBBY 1 1,095
	ELVR 199
	IDF 166
	STAIR 1,081
	TRASH 158
	WING 3 LOBBY 534
	<b>28,440 sq ft</b>
<b>FOURTH FLOOR</b>	
	0-BR UNIT 1,778
	1-BR UNIT 16,499
	2-BR UNIT 6,912
	ELVR LOBBY 1 1,095
	ELVR 199
	IDF 166
	STAIR 571
	STAIR 508
	TRASH 154
	WING 3 LOBBY 535
	<b>28,415 sq ft</b>
<b>BUILDING TOTAL</b>	<b>136,493 sq ft</b>

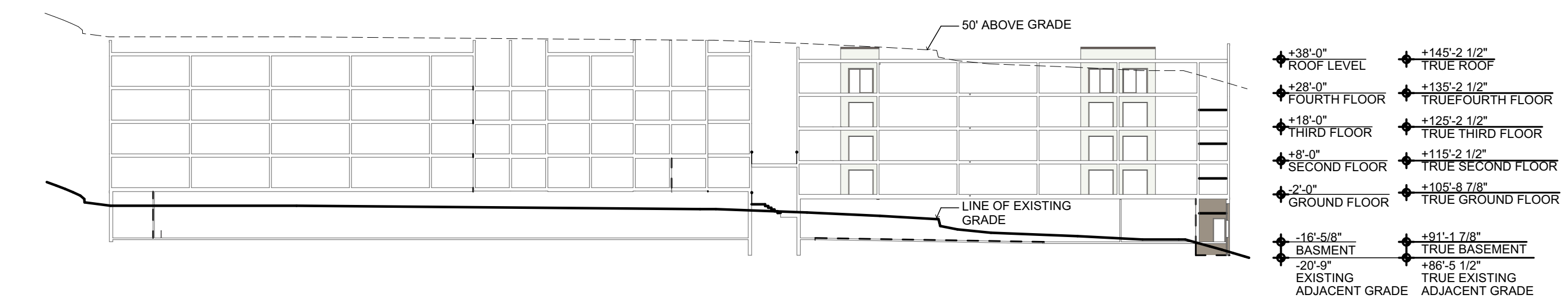
\*excludes exterior balconies, thickness of walls, parking, & shafts



**ZONING & SETBACKS DIAGRAM**  
 SCALE: 1/64" = 1'-0" ①



**ZONING SECTION**  
 SCALE: 1/32" = 1'-0" ②



**ZONING SECTION**  
 SCALE: 1/32" = 1'-0" ③

# STATE DENSITY BONUS LAW

## QUALIFICATIONS OF BUILDING UNDER SDBL:

- 100% DEED RESTRICTED AFFORDABLE TO LOW-INCOME HOUSEHOLDS
- 100% DEED RESTRICTED SENIOR HOUSING
- WITHIN 1/2 MILE OF BUS STOP WITH SERVICE >8 TIMES/DAY

## AUTOMATICALLY GRANTED UPON REQUEST BY SDBL:

- 80% DENSITY BONUS PER 65915(d)(3)(D)(i)
- FOUR INCENTIVES/CONCESSIONS PER 65915(d)(2)(D)
- ZERO REQUIRED PARKING PER 65915(p)(3)(B)
- WAIVERS OR REDUCTIONS OF DEVELOPMENT STANDARDS PER 65915(e)(1) & (2)

## APPLICABLE STATE DENSITY BONUS LAW PROVISIONS

CALIFORNIA CODE SECTION 65915 (IN EFFECT 1/1/2021)

65915(b)(1)(G):  
 (G) One hundred percent of all units in the development, including total units and density bonus units, but exclusive of a manager's unit or units, are for lower income households, as defined by Section 50079.5 of the Health and Safety Code, except that up to 20 percent of the units in the development, including total units and density bonus units, may be for moderate-income households, as defined in Section 50053 of the Health and Safety Code.

65915(d)(2):  
 (2) The applicant shall receive the following number of incentives or concessions:

65915(d)(2)(D):  
 (D) Four incentives or concessions for projects meeting the criteria of subparagraph (G) of paragraph (1) of subdivision (b).

65915(d)(3)(D):  
 (D) For housing developments meeting the criteria of subparagraph (G) of paragraph (1) of subdivision (b), the following shall apply:

(i) Except as otherwise provided in clause (ii), the density bonus shall be 80 percent of the number of units for lower income households.

65915(p)(3):  
 (3) Notwithstanding paragraph (1), if a development consists solely of rental units, exclusive of a manager's unit or units, with an affordable housing cost to lower income families, as provided in Section 50052.5 of the Health and Safety Code, then, upon the request of the developer, a city, county, or city and county shall not impose vehicular parking standards if the development meets either of the following criteria:

65915(p)(3)(B):  
 (B) The development is a for-rent housing development for individuals who are 62 years of age or older that complies with Sections 51.2 and 51.3 of the Civil Code and the development has either paratransit service or unobstructed access, within one-half mile, to fixed bus route service that operates at least eight times per day.



VISTA WOODS APARTMENTS  
 600 ROBLE AVENUE  
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 PINOLE, CA, 94564

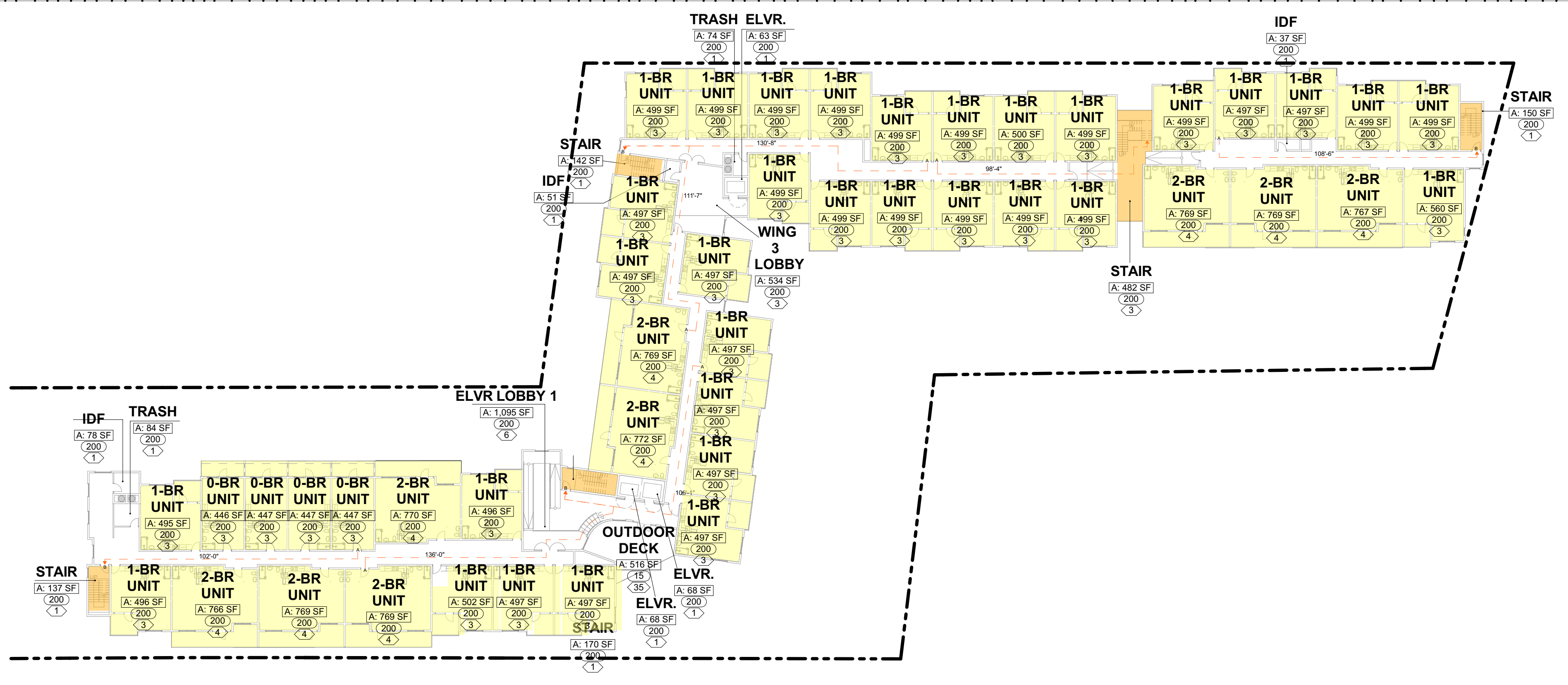
**Building Stats - Zoning, Parking & Area Analysis**

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

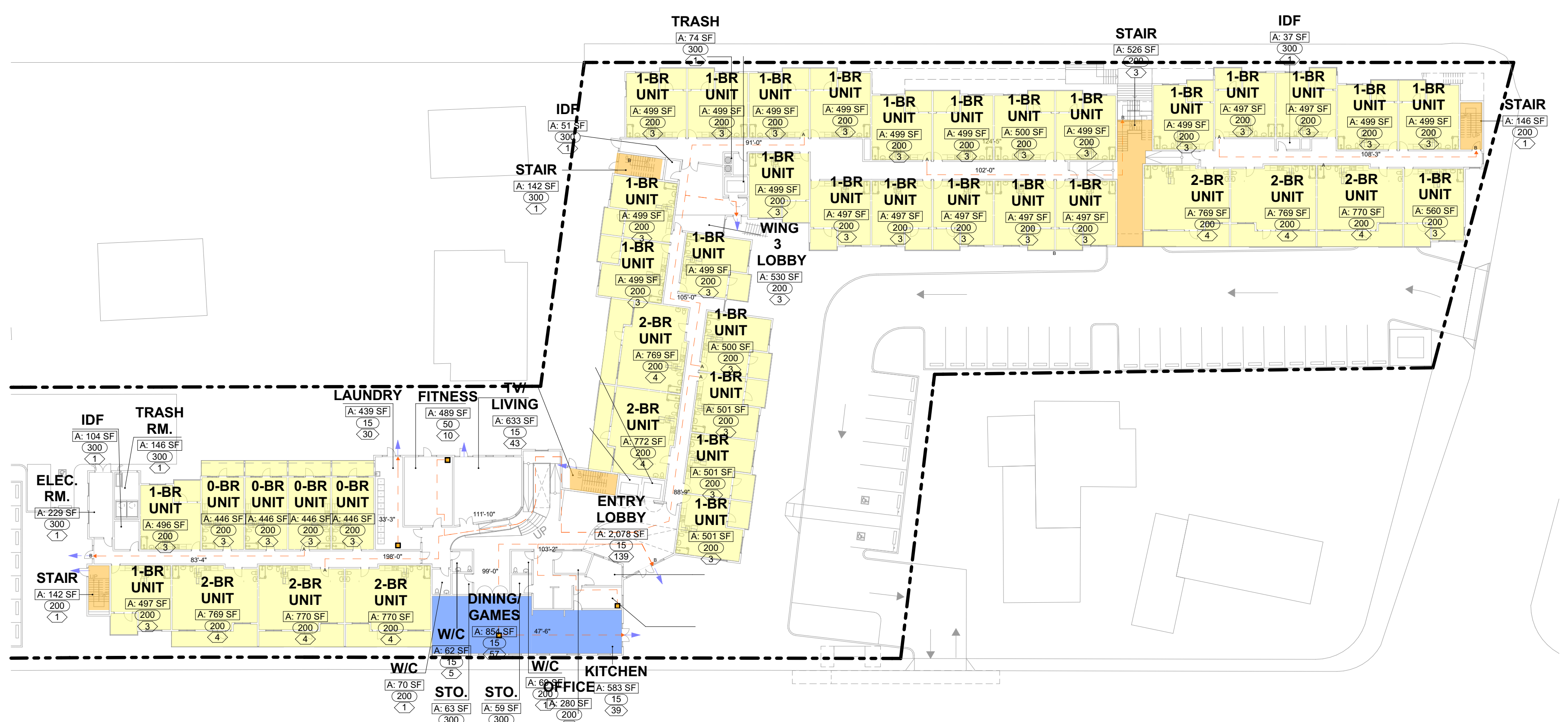
DRAWN BY: EC  
 ARCH. JOB NO.: 2103A  
 SCALE: AS NOTED



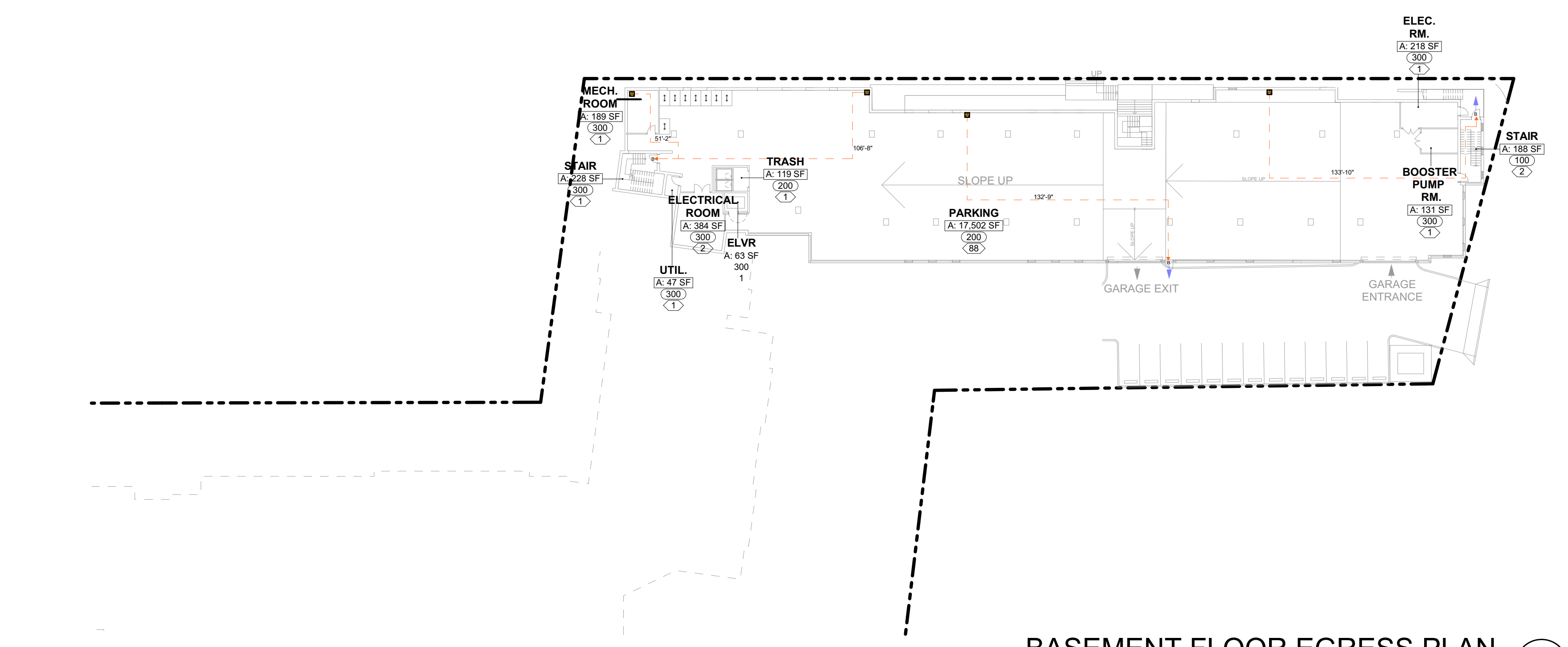
OCCUPANCY & OCCUPANT LOAD SCHEDULE: BUILDING 12							
FLOOR	ROOM	QUANTITY	OCCUPANCY TYPE	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	OCCUPANTS	
UNDERGROUND PARKING	BOOSTER PUMP RM.	1	S-2	Accessory storage areas, mechanical equipment room	300	131	
	ELEC. RM.	1	S-2	Accessory storage areas, mechanical equipment room	300	218	
	ELECTRICAL ROOM	1	S-2	Accessory storage areas, mechanical equipment room	300	384	
	ELVR	1	S-2	Accessory storage areas, mechanical equipment room	300	63	
	MECH. ROOM	1	S-2	Accessory storage areas, mechanical equipment room	300	189	
	PARKING	1	S-2	Parking garages	200	17,502	
	TRASH	1	S-2	Residential	200	119	
	UTIL.	1	S-2	Accessory storage areas, mechanical equipment room	300	47	
					<b>18,653 sq ft</b>	<b>96</b>	
GROUND FLOOR	0-BR UNIT	4	R-2	Residential	200	1,784	
	1-BR UNIT	29	R-2	Residential	200	14,521	
	2-BR UNIT	8	R-2	Residential	200	6,158	
	DINING/GAMES	1	A-3	Assembly without fixed seats Unconcentrated (tables and chairs)	15	854	
	ELEC. RM.	1	R-2	Residential	200	229	
	ELVR	3	R-2	Residential	200	205	
	ENTRY LOBBY	1	A-3	Assembly without fixed seats Unconcentrated (tables and chairs)	15	2,078	
	FITNESS	1	R-2	Exercise rooms	50	489	
	IDF	2	R-2	Residential	200	88	
	IDF	1	R-2	Residential	200	154	
	KITCHEN	1	R-2	Assembly without fixed seats Unconcentrated (tables and chairs)	15	583	
	LAUNDRY	1	R-2	Assembly without fixed seats Unconcentrated (tables and chairs)	15	439	
	OFFICE	3	B	Business areas	150	398	
	OFFICE	1	R-2	Residential	200	280	
	STO.	2	R-2	Residential	200	122	
	TRASH	1	R-2	Residential	200	74	
	TRASH RM.	1	R-2	Residential	200	146	
	TV/LIVING	1	A-3	Assembly without fixed seats Unconcentrated (tables and chairs)	15	633	
	W/C	2	R-2	Residential	200	139	
	W/C	1	R-2	Residential	200	62	
	WING 3 LOBBY	1	R-2	Residential	200	530	
						<b>29,916 sq ft</b>	<b>478</b>
	SECOND FLOOR	0-BR UNIT	4	R-2	Residential	200	1,776
		1-BR UNIT	33	R-2	Residential	200	16,503
		2-BR UNIT	9	R-2	Residential	200	6,904
		ELVR LOBBY	1	R-2	Residential	200	1,119
		ELVR	3	R-2	Residential	200	205
IDF		3	R-2	Residential	200	166	
TRASH		2	R-2	Residential	200	158	
WING 3 LOBBY		1	R-2	Residential	200	530	
					<b>27,361 sq ft</b>	<b>164</b>	
THIRD FLOOR		0-BR UNIT	4	R-2	Residential	200	1,767
	1-BR UNIT	33	R-2	Residential	200	16,500	
	2-BR UNIT	9	R-2	Residential	200	6,920	
	ELVR LOBBY	1	R-2	Residential	200	1,095	
	ELVR	3	R-2	Residential	200	199	
	IDF	3	R-2	Residential	200	166	
	OUTDOOR DECK	1	R-2	Residential	200	516	
	TRASH	2	R-2	Residential	200	158	
	WING 3 LOBBY	1	R-2	Residential	200	534	
						<b>27,875 sq ft</b>	<b>199</b>
FOURTH FLOOR	0-BR UNIT	4	R-2	Residential	200	1,776	
	1-BR UNIT	33	R-2	Residential	200	16,499	
	2-BR UNIT	9	R-2	Residential	200	6,912	
	ELVR LOBBY	1	R-2	Residential	200	1,095	
	ELVR	3	R-2	Residential	200	199	
	IDF	3	R-2	Residential	200	166	
	OUTDOOR DECK	1	R-2	Residential	200	516	
	TRASH	2	R-2	Residential	200	154	
	WING 3 LOBBY	1	R-2	Residential	200	535	
						<b>27,852 sq ft</b>	<b>199</b>
<b>TOTAL</b>					<b>131,657 sq ft</b>	<b>1136</b>	



2ND-4TH FLOOR OCCUPANCY & EGRESS DIAGRAM  
SCALE: 1/32" = 1'-0" 3

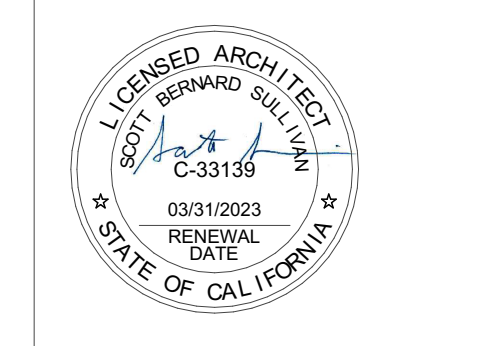


GROUND FLOOR OCCUPANCY & EGRESS DIAGRAM  
SCALE: 1/32" = 1'-0" 2



BASEMENT FLOOR EGRESS PLAN  
SCALE: 1/32" = 1'-0" 1

RELATIVITY ARCHITECTS



VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

Building Stats - Occupancy & Egress, Fire Access	
DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/10/2021	DEVELOPMENT APPLICATION RESUBMISSION
DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

SHEET  
A011



OPEN SPACE CALCULATIONS

OPEN SPACE REQUIREMENTS PER PINOLE MC 17.24.030 SITE AREA: 88,053.8 SF	REQUIRED	PROVIDED
<b>IMPROVED, USABLE OPEN SPACE (300SF/UNIT)</b>	<b>53,700 SF</b>	<b>36,858 SF</b>
- PRIVATE OR SEMI-PRIVATE OPEN SPACE (20% OF LOT AREA)	17,611 SF	19,884 SF
- IMPROVED COMMON USABLE LANDSCAPE AREA		16,974 SF
<b>IMPROVED, LANDSCAPED OPEN SPACE (30% OF LOT AREA)</b>	<b>26,416 SF</b>	<b>26,653 SF</b>
- IMPROVED COMMON USABLE LANDSCAPE AREA		19,974 SF
- NON-RECREATIONAL SITE LANDSCAPE		9,679 SF

BALCONY/OUTDOOR DECK AREA (PRIVATE OR SEMI-PRIVATE OPEN SPACE)

	BALCONY SF	COUNT	TOTAL
STUDIO	96	16	1,536 SF
1 BEDROOM	81	128	10,368 SF
2 BEDROOM	222	35	7,770 SF
OUTDOOR DECK	532	2 (FLOOR 3 AND 4)	1,064 SF
			20,738 SF

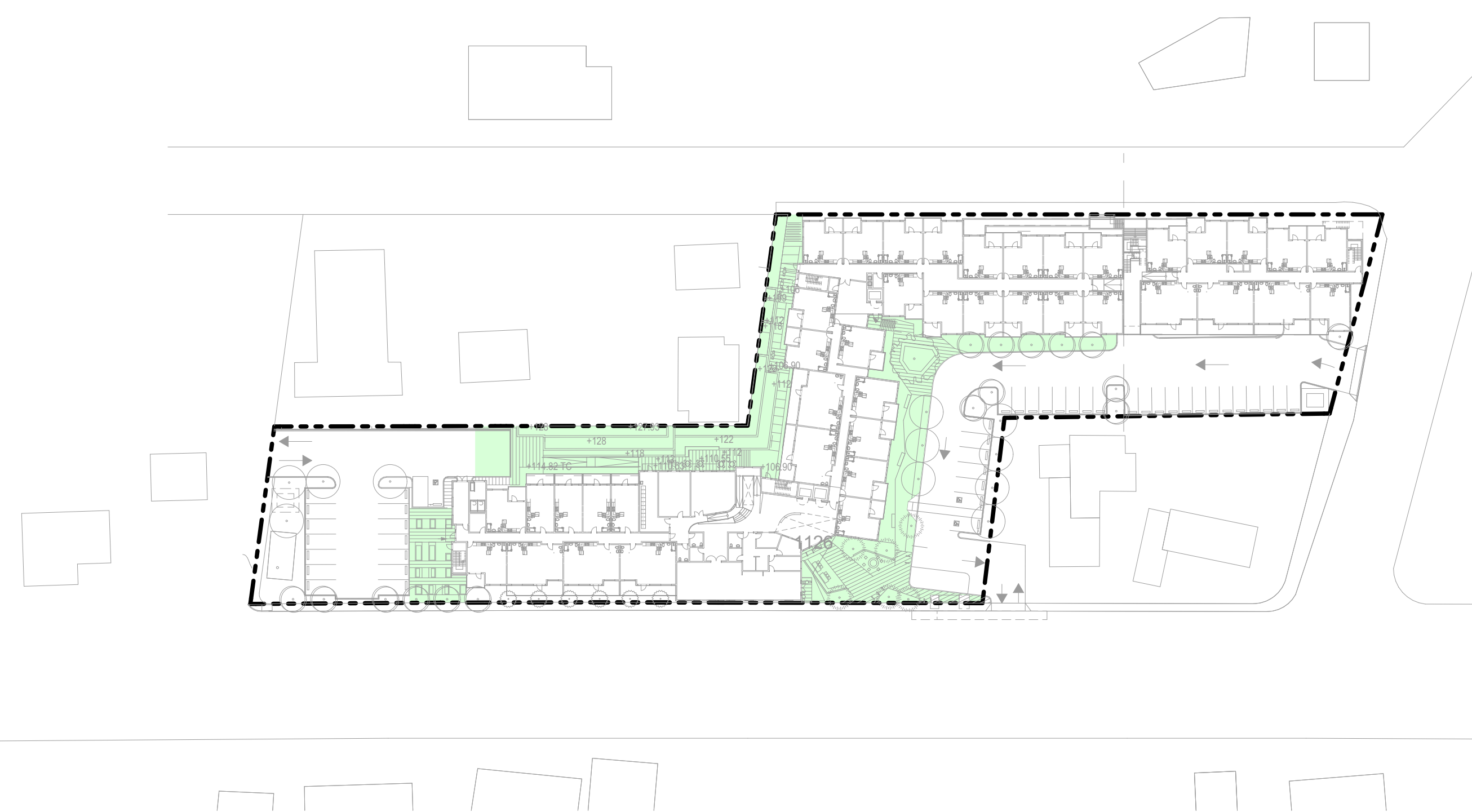


H. OF ISLAND FULL OF CONCRETED ROCKS SECTION OF ISLAND FULL OF CONCRETED ROCKS ISLAND FULL OF CONCRETED ROCKS

NON-RECREATIONAL SITE LANDSCAPE  
SCALE: 1/64" = 1'-0" 4



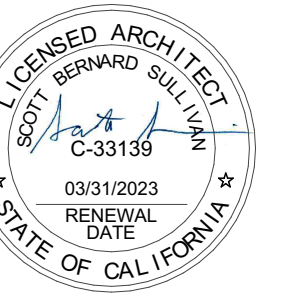
TYPICAL FLOOR - PRIVATE OR SEMI-PRIVATE OPEN SPACE  
SCALE: 1/64" = 1'-0" 2



COMMON AREA OPEN SPACE  
SCALE: 1/64" = 1'-0" 3



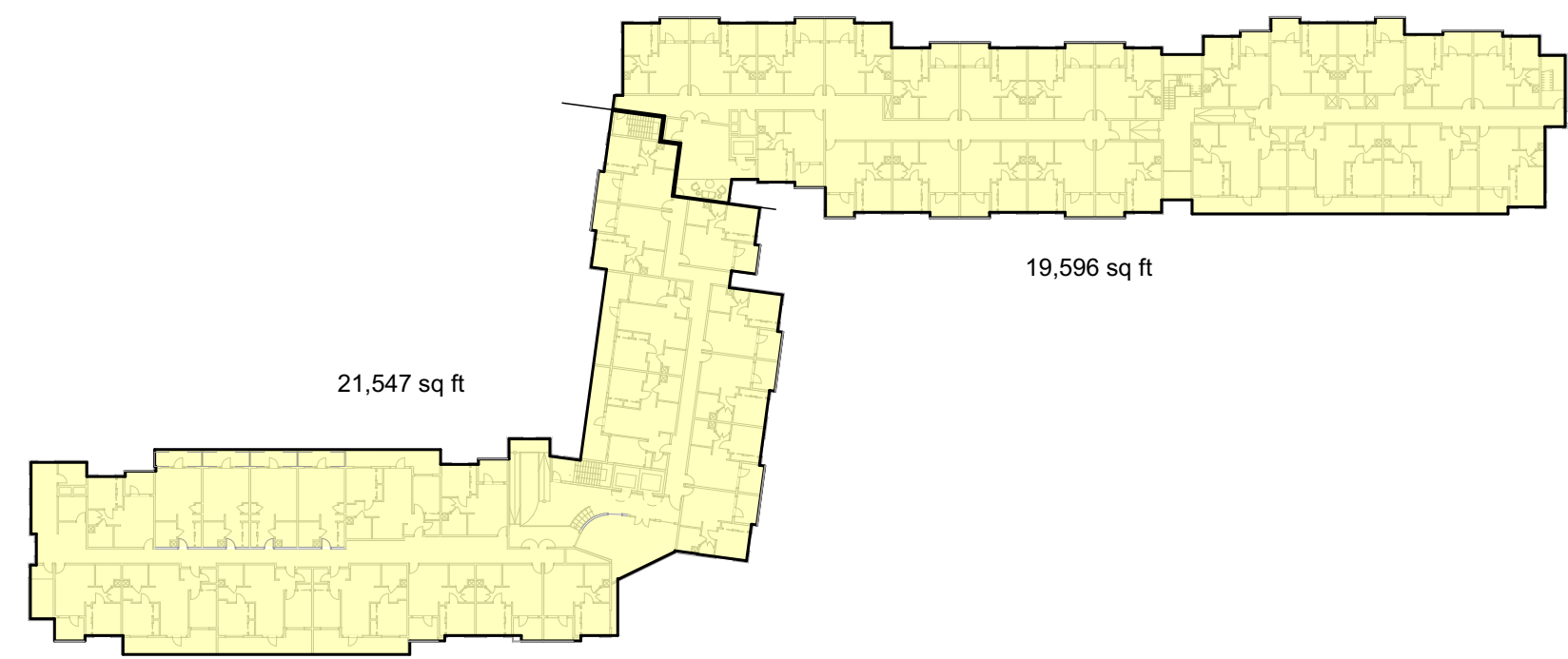
GROUND FLOOR - PRIVATE OR SEMI-PRIVATE OPEN SPACE  
SCALE: 1/64" = 1'-0" 1



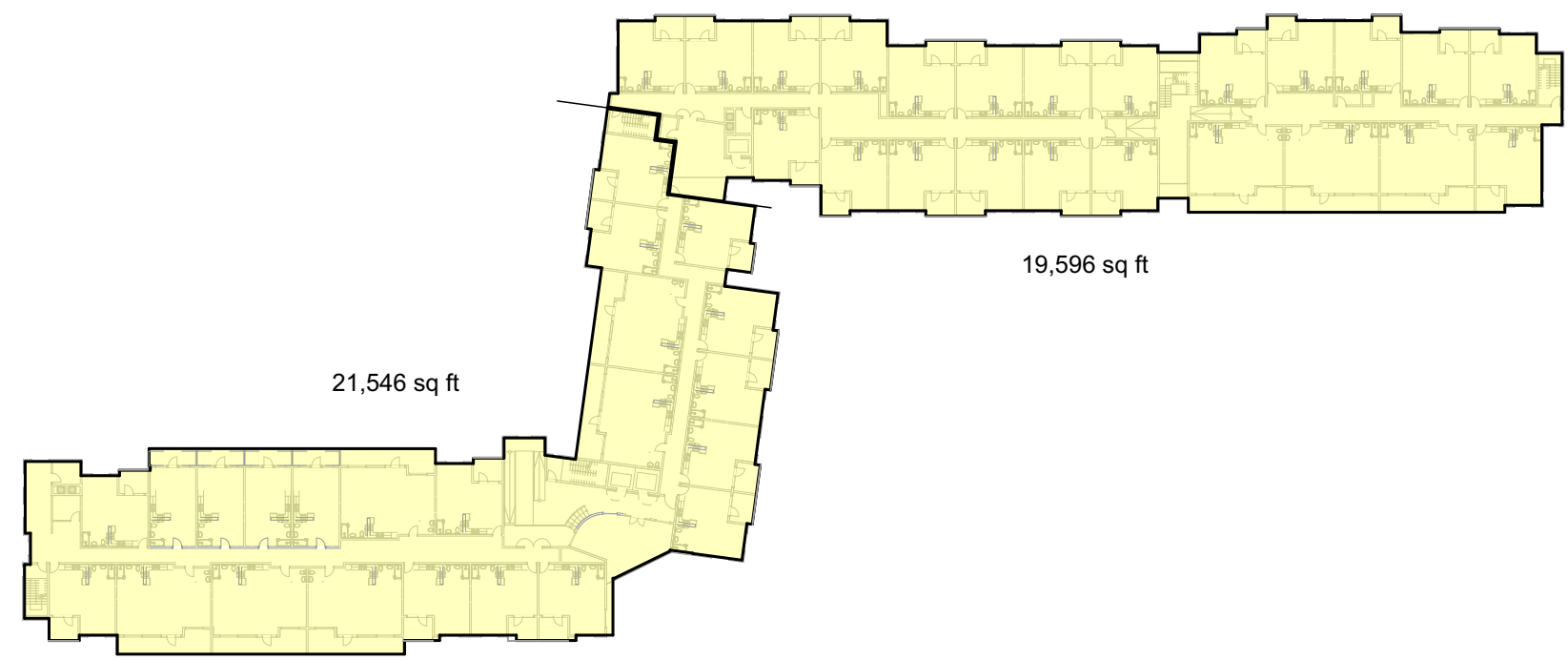
DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

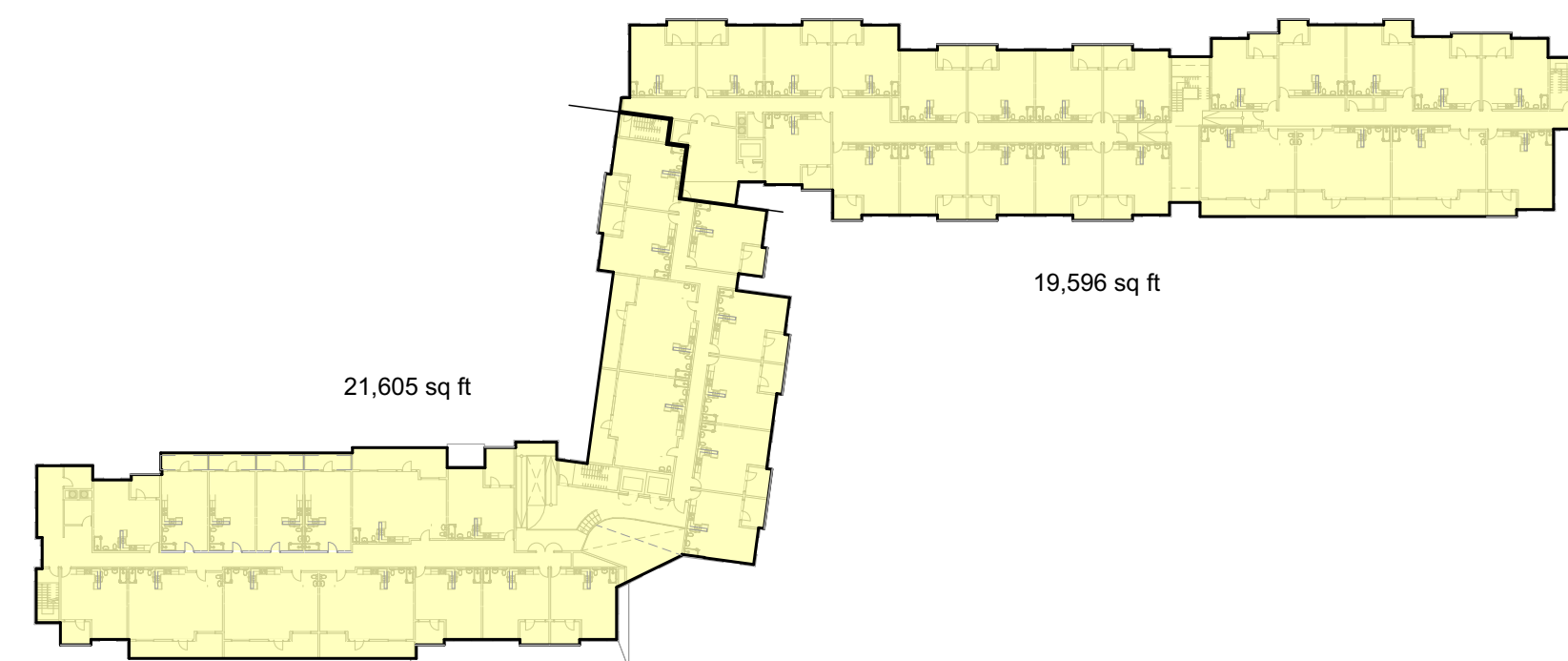




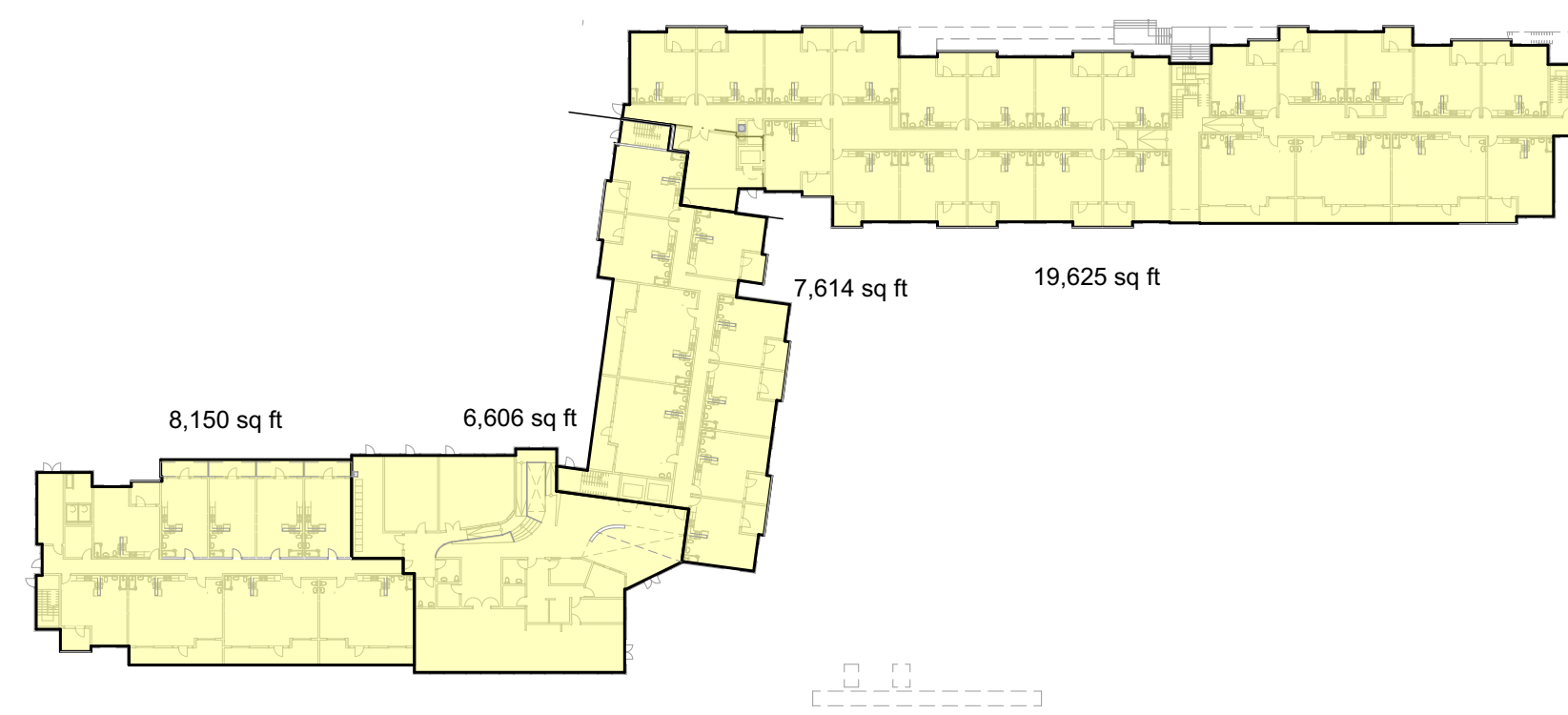
**BUILDING AREA DIAGRAM 4TH FLOOR**  
SCALE: 1/64" = 1'-0" 6



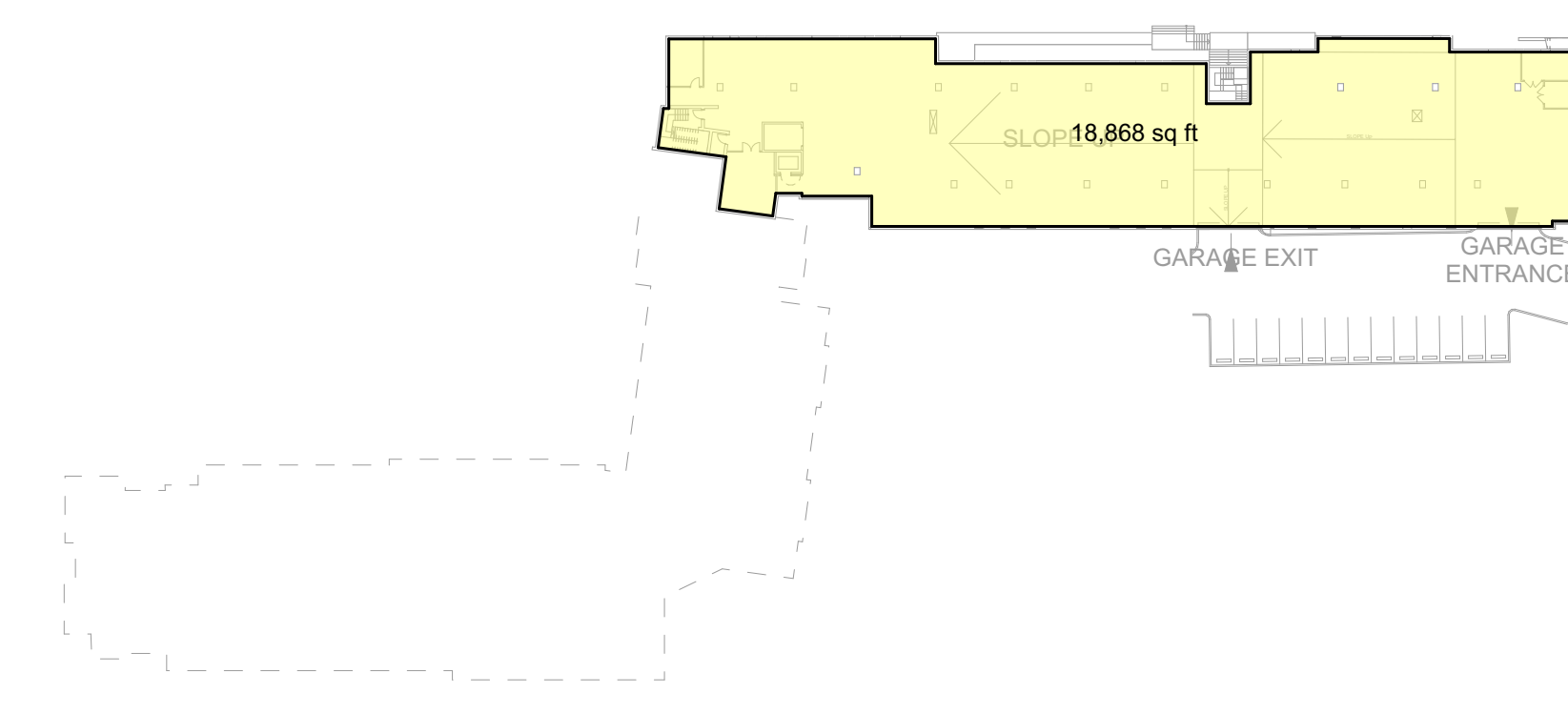
**BUILDING AREA DIAGRAM 3RD FLOOR**  
SCALE: 1/64" = 1'-0" 5



**BUILDING AREA DIAGRAM 2ND FLOOR**  
SCALE: 1/64" = 1'-0" 4



**BUILDING AREA DIAGRAM GROUND FLOOR**  
SCALE: 1/64" = 1'-0" 3



**BUILDING AREA DIAGRAM UNDERGROUND PARKING**  
SCALE: 1/64" = 1'-0" 2

**CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS;  
SEPARATION OF OCCUPANCIES**

**BUILDING 12:**  
MULTIPLE OCCUPANCY, MULTISTORY  
CONSTRUCTION TYPE: VA  
OCCUPANCY TYPE: R-2/A  
SPRINKLER TYPE: NFPA 13  
 $I_f = 0.75$

**506.2.4 Mixed-Occupancy, Multistory Buildings**

Each story of a mixed-occupancy building with more than one story above grade plane shall individually comply with the applicable requirements of Section 508.1. For buildings with more than three stories above grade plane, the total building area shall be such that the aggregate sum of the ratios of the actual area of each story divided by the allowable area of such stories, determined in accordance with Equation 5-3 based on the applicable provisions of Section 508.1, shall not exceed three, provided the aggregate sum of the ratios for portions of mixed-occupancy, multistory buildings containing A, E, H, I, L and R occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, including any other associated non-separated occupancies, shall not exceed two.

**Equation 5-3:**

**Story 1 (R-2 occupancy):**

$$A_p = [A_s + (NS \times I_f)]$$

$$A_s = 36,000$$

$$NS = 12,000$$

$$I_f = 0.68$$

**Story 1 R-2 area: 15,764 SF**  
 $A_p = [36,000 + (12,000 \times .68)] = 44,160$  SF  
RATIO: 0.356

**Story 1 (A-3 occupancy)**

$$A_p = [A_s + (NS \times I_f)]$$

$$A_s = 34,500$$

$$NS = 11,500$$

$$I_f = 0.68$$

**Story 1 A-3 area: 6,606 SF**  
 $A_p = [34,500 + (11,500 \times .68)] = 42,320$  SF  
RATIO: 0.16

**Story 2 R-2 area: 21,605 SF**  
 $A_p = [36,000 + (12,000 \times .68)] = 44,160$  SF  
RATIO: 0.489

**Story 3 R-2 area: 21,546 SF**  
 $A_p = [36,000 + (12,000 \times .75)] = 44,160$  SF  
RATIO: 0.487

**Story 4 R-2 area: 21,547 SF**  
 $A_p = [36,000 + (12,000 \times .75)] = 44,160$  SF  
RATIO: 0.487

SUM OF RATIOS: 1.979

**ALLOWABLE HEIGHT, NUMBER OF STORIES (Table 504.3, Table 504.4):**

Type VA:	MAX HT & STORIES
R-2	60', 4 STORIES
A-3	50', 2 STORIES

**BUILDING AREA SCHEDULE PER STORY**

BUILDING 1 - TYPE VA		
STORY	Occupancy	Area
GROUND FLOOR	A-3	6,606
GROUND FLOOR	R-2	7,614
GROUND FLOOR	R-2	8,150
SECOND FLOOR	R-2	21,605
THIRD FLOOR	R-2	21,546
FOURTH FLOOR	R-2	21,547
		87,068 sq ft

**BUILDING 34:**  
SINGLE OCCUPANCY, MULTISTORY  
CONSTRUCTION TYPE: VA  
OCCUPANCY TYPE: R-2  
SPRINKLER TYPE: NFPA 13  
 $I_f = 0.71$

**Equation 5-2:**

$$A_p = [A_s + (NS \times I_f)] \times S$$

$$A_s = 36,000$$

$$NS = 12,000$$

$$I_f = 0.71$$

$$S_s = 2$$

$$A_p = [36,000 + (12,000 \times 0.71)] \times 2 = 89,040$$
 SF

$$W = (L_1 \times W_1 + L_2 \times W_2 + L_3 \times W_3 \dots) / F = 30$$

$$F = \text{PERIMETER THAT FRONTS ON } >20' \text{ PUBLIC WAY OR OPEN SPACE} = 807.3'$$

$$P = \text{TOTAL PERIMETER OF BUILDING} = 774.5'$$

$$I_f = [F/P - 0.25]W/30 \text{ (EQUATION 5-5)}$$

$$I_f = [774.5/807.3 - 0.25]W/30 = 0.70$$

W > 30', THUS 30' IS USED AS VALUE OF W.

**GARAGE:**  
SINGLE OCCUPANCY, SINGLE STORY  
CONSTRUCTION TYPE: IA  
OCCUPANCY TYPE: S-2  
SPRINKLER TYPE: NFPA 13

**506.2.1 Single-Occupancy, One-Story Buildings**

The allowable area of a single-occupancy building with no more than one story above grade plane shall be determined in accordance with Equation 5-1:

$$A_p = A_s + (NS \times I_f)$$

$$A_s = UL$$

$$NS = UL$$

$$I_f = 0.65$$

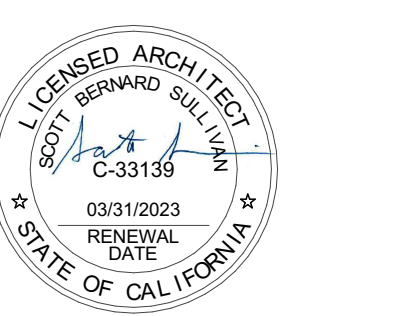
$$A_p = UL + (UL \times I_f) = UL$$

**PROVIDED SEPARATION OF OCCUPANCIES (HOURS) (PER TABLE 508.4)**

FIRE SEPARATION BETWEEN A-2/A-3 AND R-2 OCCUPANCIES: 1HR  
FIRE PARTITION (AS PER 708) BETWEEN APARTMENTS: 1HR (508.2.4 Exception #2)

**INCIDENTAL USE AREAS AND MIXED OCCUPANCIES (509)**

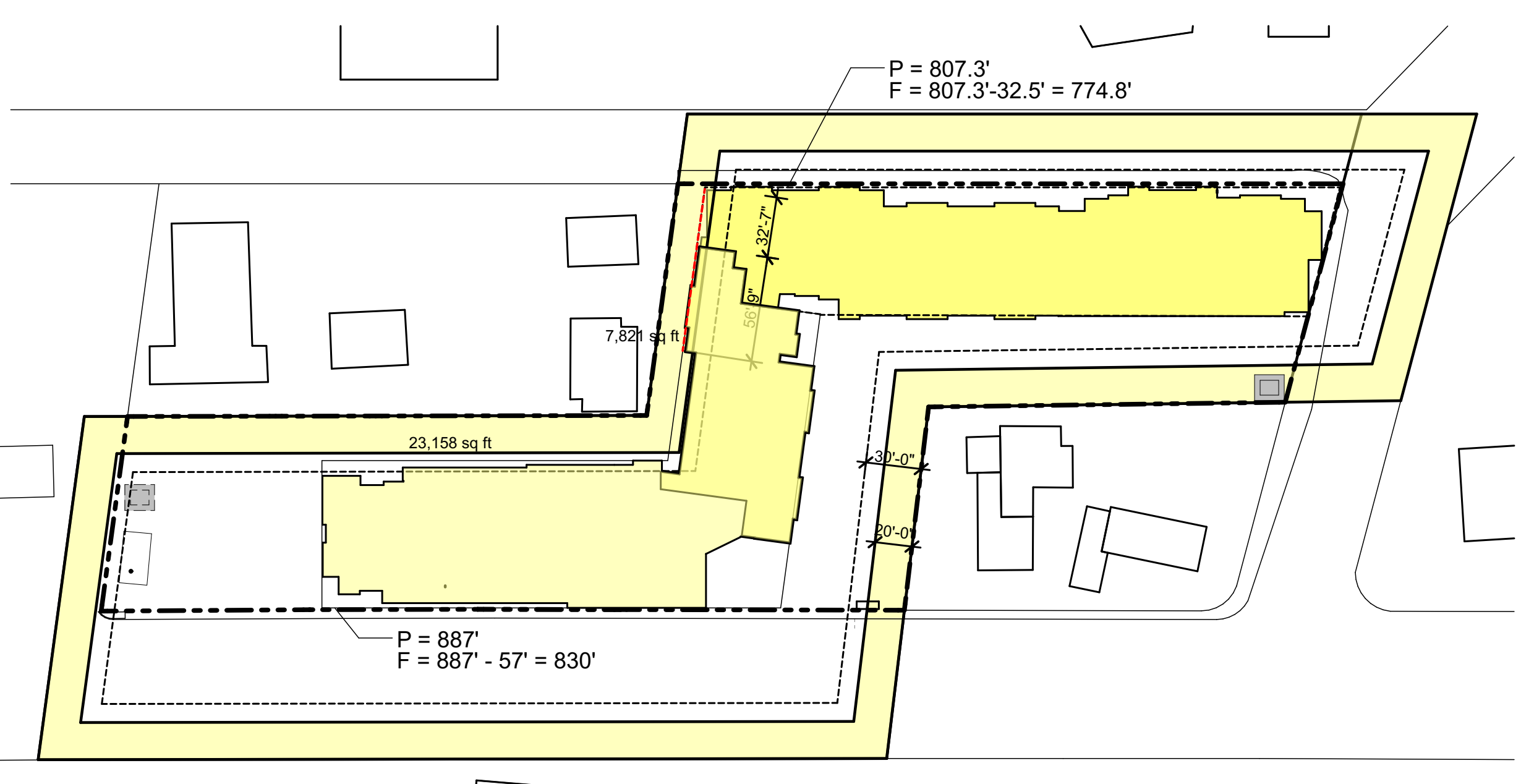
ROOM OR AREA	FIRE SEPARATION	PROTECTION PROVIDED
RESIDENTIAL WASTE AND LINEN COLLECTION ROOMS OVER 100 SF		1HR OR SPRINKLER
MECH. AND/OR ELECTRICAL EQUIP. ROOM		1HR
LAUNDRY OVER 100 SF		1HR OR SPRINKLER
GENERATOR RM		2HR



**Building Status - Building Area and Occupancy**

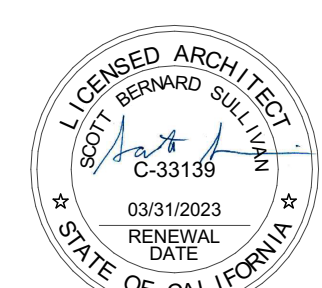
DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY: EC  
ARCH. JOB NO.: 2103A  
SCALE: AS NOTED



**FRONTAGE INCREASE DIAGRAM**  
SCALE: 1/64" = 1'-0" 1





VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

Table with columns: DATE, ISSUE, DEVELOPMENT APPLICATION, DEVELOPMENT APPLICATION RESUBMISSION. Includes a 'Topo Survey' section with dates 03/02/2021 and 06/10/2021.

DRAWN BY: EC  
ARCH. JOB NO.: 2103A  
SCALE: AS NOTED

Main site plan showing San Pablo Avenue, various buildings (e.g., Follings Surako Valdez SR, Sainz Ricardo Vera Marisol), trees, and utility lines. Includes a 'VICINITY MAP' showing the location in Pinole, CA, near San Pablo Bay and Belfair Dr. The plan shows San Pablo Avenue with a variable width and public right-of-way.

SCALE: 1" = 20'  
CONTOUR INTERVAL NOTE: Contours shown on this survey are plotted at a 1 foot interval.

TITLE DESCRIPTION: The legal description for the property surveyed hereon is taken from the preliminary title report dated January 28, 2021, prepared by First American Title Insurance Company at 1850 Mt. Diablo Boulevard, Suite 530, Walnut Creek, California, 94596, under Order Number NCS-1050607-CC.

PARCEL ONE: PORTION OF LOT E, MAP OF NOB HILL SUBDIVISION, FILED JUNE 9, 1906, MAP BOOK B, PAGE 39, CONTRA COSTA COUNTY RECORDS, DESCRIBED AS FOLLOWS:

PARCEL TWO: RIGHT OF WAY GRANTED IN THE DEED TO ENNIS L. RIEMER, ET UX, RECORDED JULY 6, 1962, BOOK 4154, OFFICIAL RECORDS, PAGE 755, DESCRIBED AS FOLLOWS:

PARCEL THREE: RIGHT OF WAY GRANTED IN THE DEED TO D.S.W., A PARTNERSHIP, RECORDED AUGUST 26, 1970, BOOK 6201, OFFICIAL RECORDS, PAGE 554, DESCRIBED AS FOLLOWS:

TITLE EXCEPTIONS AND EXCLUSIONS: The exceptions and exclusions listed in said preliminary title report are as follows:

- Item 1-8: Property taxes and the lien of supplemental taxes, if any.
- Item 9: An easement in Favor of Donald H. Arbuckle, et ux, for the purpose of roadway, utilities, and incidental purposes.
- Item 10: Terms and provisions contained in the document entitled "Agreement for Revocable License to Construct a Fence" recorded June 26, 1996.
- Item 11: The fact that the land lies within the boundaries of the Pinole Vista Redevelopment Project area.
- Item 12: Deed of trust, this item is not survey related and is not addressed hereon.
- Item 13: The terms and provisions contained in the document entitled "Regulatory Agreement" recorded April 04, 2019.
- Item 14: Financing Statement, this item is not survey related and is not addressed hereon.
- Item 15: Deed of Trust, this item is not survey related and is not addressed hereon.
- Item 16: Water rights, claims or title to water, whether or not shown by the Public Records.
- Item 17: Rights of parties in possession

SURVEYOR NOTES: 1. All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, party walls, parking, easements, servitudes, and encroachments, are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.

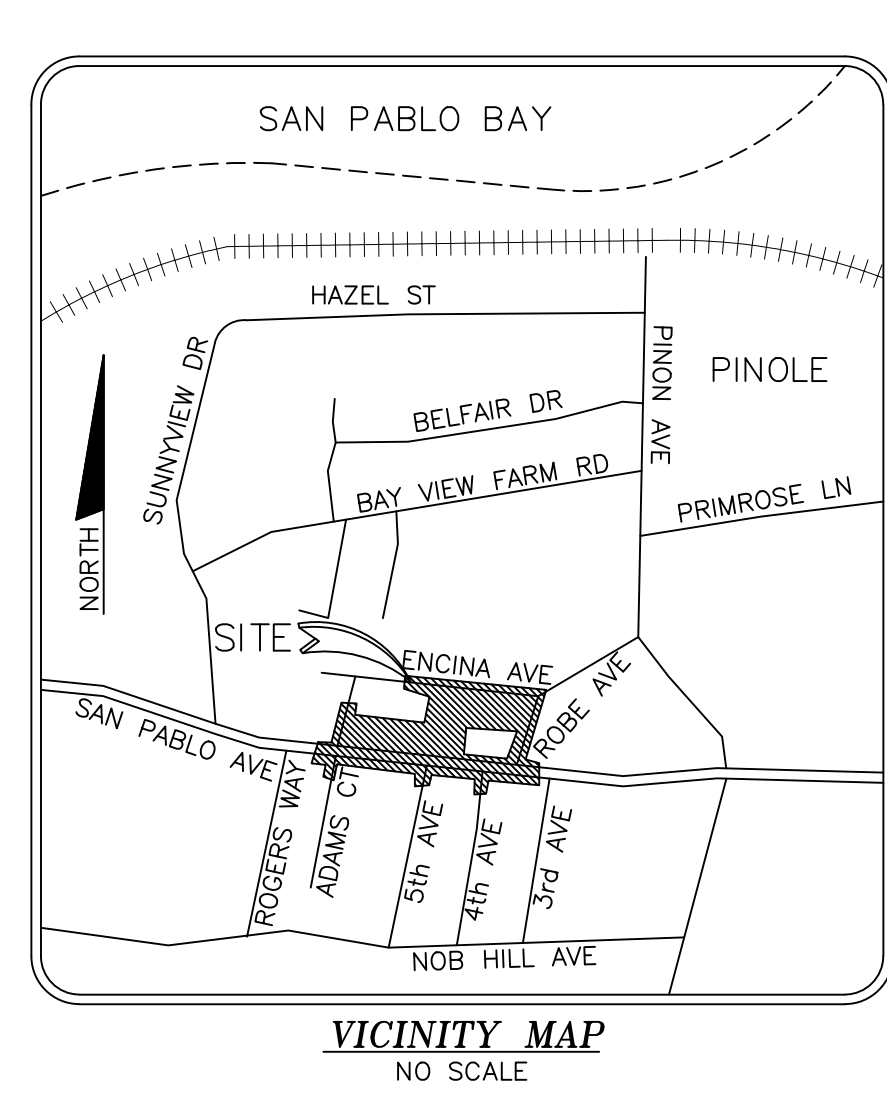
BASIS OF BEARINGS NOTE: The bearings shown on this survey are based upon California State Plane Zone 3

DATUM NOTE: The elevations shown on this survey are NAVD83, based on found NGS Benchmark PID A35620. That elevation was taken as 27.00'

LEGEND table listing symbols for various features: Existing easement line, Existing property boundary, Existing street centerline, Overhead utility line, Existing building line at ground level, Existing building overhang, Existing wood fence, Existing retaining wall as noted, Existing minor contour, Existing major contour, Asphalt concrete, Air Conditioning Unit, Water back flow preventer, Communication, Concrete, Curb inlet w/ catch basin, Drainage inlet, Electric, Fire dept connection, Flow line, Finished Grade, Gas, Lip of Gutter, Landscaping, Right of way, Storm Drain, Sanitary Sewer, Sidewalk, Telecommunication, Top Back of Curb, Top of Curb, Threshold, Traffic signal, Unidentified utility vault, Water, Weep hole through curb.

CERTIFICATION: The boundary and easement information shown hereon is based upon the preliminary title report dated January 28, 2021, prepared by First American Title Insurance Company at 1850 Mt. Diablo Boulevard, Suite 530, Walnut Creek, California, 94596, under Order Number NCS-1050607-CC. This map has been prepared for the sole purpose of showing the location of existing above ground improvements and surface elevations of the subject parcel. All other information shown hereon is for informational purposes only.

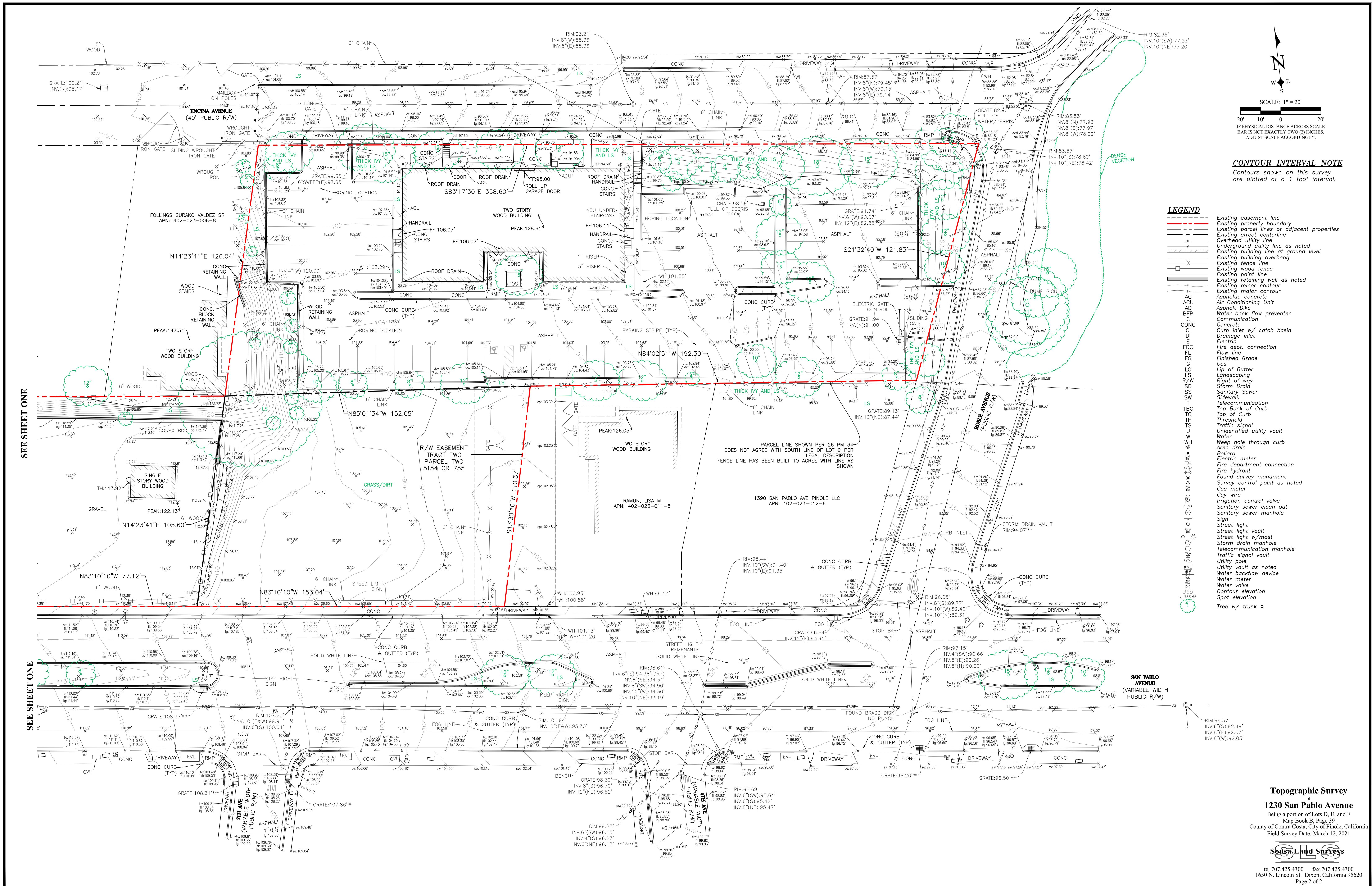
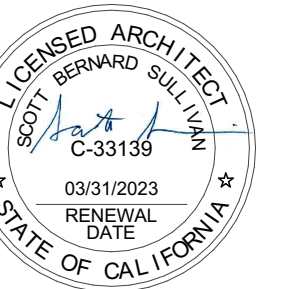
Brian L. Sousa, L.S. 7917 Date: 04-27-2021



Topographic Survey  
1230 San Pablo Avenue  
Being a portion of Lots D, E, and F  
Map Book B, Page 39  
County of Contra Costa, City of Pinole, California  
Field Survey Date: March 12, 2021

Subs Land Survey  
tel 707.425.4300 fax 707.425.4300  
1650 N. Lincoln St. Dixon, California 95620  
Page 1 of 2





**CONTOUR INTERVAL NOTE**  
Contours shown on this survey are plotted at a 1 foot interval.

- LEGEND**
- - - Existing easement line
  - - - Existing property boundary
  - - - Existing parcel lines of adjacent properties
  - - - Existing street centerline
  - - - Overhead utility line
  - - - Underground utility line as noted
  - - - Existing building line at ground level
  - - - Existing building overhang
  - - - Existing fence line
  - - - Existing wood fence
  - - - Existing point line
  - - - Existing retaining wall as noted
  - - - Existing minor contour
  - - - Existing major contour
  - - - Asphalt concrete
  - - - Asphaltic concrete
  - - - Asphalt Dike
  - - - Water back flow preventer
  - - - Communication
  - - - Concrete
  - - - Curb inlet w/ catch basin
  - - - Drainage inlet
  - - - Electric
  - - - Fire dept. connection
  - - - Flow line
  - - - Gas
  - - - Lip of Gutter
  - - - Landscaping
  - - - Right of Way
  - - - Storm Drain
  - - - Sanitary Sewer
  - - - Sidewalk
  - - - Telecommunication
  - - - Top Back of Curb
  - - - Top of Curb
  - - - Threshold
  - - - Traffic signal
  - - - Unidentified utility vault
  - - - Water
  - - - Weep hole through curb
  - - - Area drain
  - - - Bolt
  - - - Electric meter
  - - - Fire department connection
  - - - Fire hydrant
  - - - Found survey monument
  - - - Survey control point as noted
  - - - Gas meter
  - - - Guy wire
  - - - Irrigation control valve
  - - - Sanitary sewer clean out
  - - - Sanitary sewer manhole
  - - - Sign
  - - - Street light
  - - - Street light w/mast
  - - - Storm drain manhole
  - - - Telecommunication manhole
  - - - Traffic signal vault
  - - - Utility pole
  - - - Utility vault as noted
  - - - Water backflow device
  - - - Water meter
  - - - Water valve
  - - - Contour elevation
  - - - Spot elevation
  - - - Tree w/ trunk

VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

**Topo Survey**

DATE	ISSUE	DEVELOPMENT APPLICATION	DEVELOPMENT RESUBMISSION
03/20/2021			
06/10/2021			

DRAWN BY: EC  
ARCH. JOB NO.: 2103A  
SCALE: AS NOTED

**Topographic Survey**  
of  
**1230 San Pablo Avenue**  
Being a portion of Lots D, E, and F  
Map Book B, Page 39  
County of Contra Costa, City of Pinole, California  
Field Survey Date: March 12, 2021

**Southern Land Systems**  
tel 707.425.4300 fax 707.425.4300  
1650 N. Lincoln St. Dixon, California 95620  
Page 2 of 2

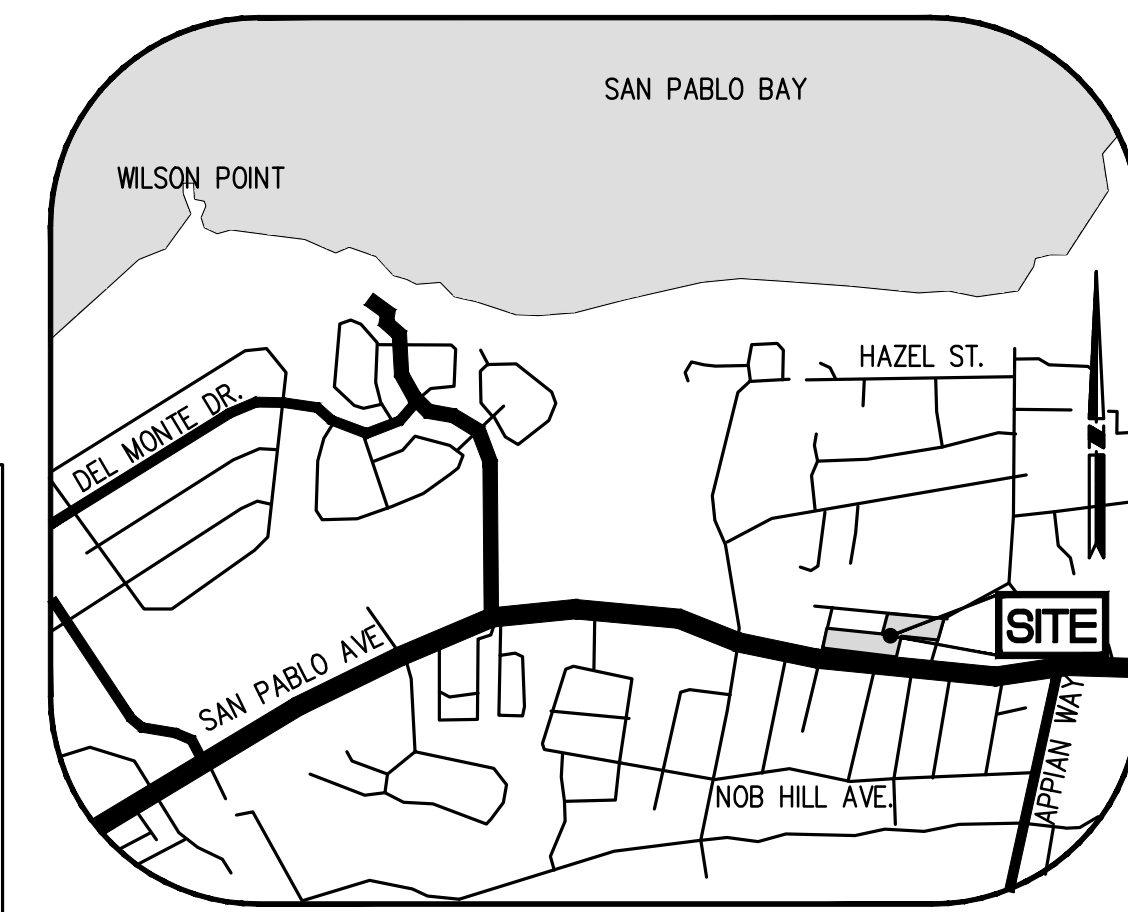
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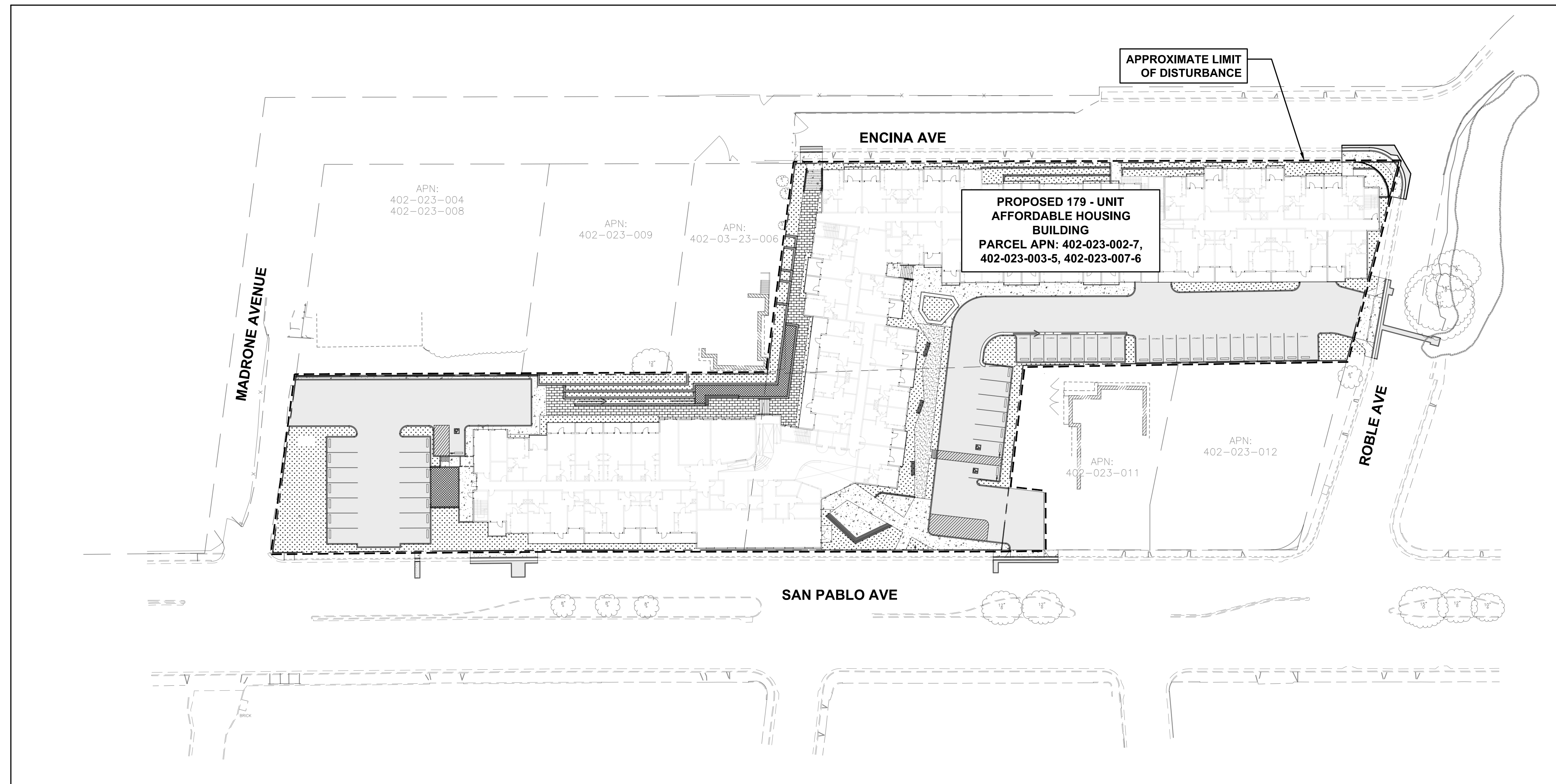
# CIVIL ON-SITE IMPROVEMENT PLANS

## VISTA WOODS SENIOR APARTMENT

1230 SAN PABLO AVENUE | PINOLE, CALIFORNIA 94564



VICINITY MAP  
NOT TO SCALE



ON-SITE LIMITS OF DISTURBANCE

PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	1-FOOT CONTOUR	---
---	5-FOOT CONTOUR	---
---	WATER LINE	---
---	FIRE PROTECTION WATER LINE	---
---	IRRIGATION WATER LINE	---
---	SANITARY SEWER LINE	---
---	STORM DRAIN LINE	---
---	UNDERGROUND ELECTRIC	---
---	GAS LINE	---
---	OVERHEAD ELECTRIC	---
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
---	TREE	---
---	WATER VALVE	---
---	FIRE HYDRANT/CONNECTION	---
---	WATER METER OR BOX	---
---	SEWER MANHOLE	---
---	SANITARY SEWER CLEANOUT	---
---	STORM DRAIN MANHOLE	---
---	STORM DRAIN CLEANOUT	---
---	CATCH BASIN	---
---	LIGHT POLE, UTILITY POLE, OR PULLBOX	---
---	GAS VALVE	---
---	ELECTRIC VAULTS	---
---	ELECTRIC BOX	---
---	SIGN	---
---	TRENCH DRAIN	---
---	TRANSFORMER	---
---	STANDARD PCC PAVEMENT	---
---	STANDARD AC PAVEMENT	---
---	STANDARD LANDSCAPE. SEE LANDSCAPE PLANS FOR DETAILS	---
---	STANDARD BIOTREATMENT PLANTER	---
---	STANDARD PERVIOUS PAVEMENT	---
---	PROPOSED DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DETAILS	---

### CIVIL SHEET INDEX

- C0.1 CIVIL TITLE SHEET
- C1.1 SITE AND PAVING PLAN
- C1.2 SITE AND PAVING PLAN
- C1.4 FIRE PROTECTION PLAN
- C2.1 PRECISE GRADING AND DRAINAGE PLAN - GARAGE
- C2.2 PRECISE GRADING AND DRAINAGE PLAN
- C2.3 PRECISE GRADING AND DRAINAGE PLAN
- C2.4 SITE CROSS SECTIONS
- C2.5 SITE CROSS SECTIONS
- C3.0 UTILITY PLAN
- C4.0 STORMWATER CONTROL PLAN

### SOILS REPORT NOTE:

A GEOTECHNICAL REPORT WAS PREPARED FOR THIS PROJECT DATED OCTOBER 10, 2018 BY PARTNER ASSESSMENT CORPORATION, SIGNED/STAMPED BY MATTHEW MARCUS, A STATE OF CALIFORNIA REGISTERED PROFESSIONAL GEOLOGIST. ALL COMPACTION, FILLING, EXCAVATION, AND PAVING RECOMMENDATIONS ARE BASED ON CONSERVATIVE ENGINEERING PRINCIPLES AND THE RECOMMENDATIONS AS LISTED IN AFOREMENTIONED GEOTECHNICAL REPORT.

### SURVEY NOTE:

TOPOGRAPHIC SURVEY PROVIDED BY SOLISA LAND SURVEYS, DATED MARCH 03, 2021. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

### SITE INFORMATION:

PARCEL APN: 402-023-002-7, 402-023-003-5, 402-023-007-6  
 ZONING: R-4: VERY HIGH DENSITY RESIDENTIAL  
 FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE "X" PER FIRM PANEL NO: 06013C0043H, DATED MARCH 21, 2017. ZONE "X" IS DEFINED AS "AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

TOTAL PARCEL AREA	= 87,861±	SF (+2.02 ACRES)
AREA SUMMARY:		
TOTAL DISTURBED AREA	= 87,861±	SF (+2.02 ACRES)
EXISTING DISTURBED IMPERVIOUS AREA	= 33,301±	SF
EXISTING DISTURBED PERVIOUS AREA	= 54,560±	SF
PROPOSED IMPERVIOUS AREA	= 73,200±	SF
PROPOSED PERVIOUS AREA	= 14,661±	SF
TOTAL CHANGE IN DISTURBED IMPERVIOUS AREA	= 39,899±	SF (INCREASE)

### ABBREVIATIONS

AC	ASPHALT CONCRETE	FW	FRONT OF WALK	SDR35	STANDARD DIMENSIONAL RATIO 35
ADA	AMERICANS WITH DISABILITIES ACT	FWC	FACE OF WALL CONCRETE	SF	SQUARE FEET
APN	ASSESSORS PARCEL NUMBER	G	GAS	SL	STREET LIGHT
APWA	AMERICAN PUBLIC WORKS ASSOCIATION	GB	GRADE BREAK	SLPB	STREET LIGHT PULL BOX
AVE	AVENUE	GV	GAS VALVE	SP	SPECIFIC PLAN
BAQMD	BAY AREA AIR QUALITY MANAGEMENT DISTRICT	HDPE	HIGH-DENSITY POLYETHYLENE	SPEC	SPECIFICATION
BLDG	BUILDING	HWY	HIGHWAY	SSCO	SANITARY SEWER CLEAN OUT
BLVD	BULEVARD	HYD	HYDRANT	SSMH	SANITARY SEWER MANHOLE
BFP	BACKFLOW PREVENTOR	IE	INVERT ELEVATION	ST	STREET
BM	BENCHMARK	INV	INVERT	STD	STANDARD
BOP	BOTTOM OF PIPE	IV	IRRIGATION VALVE	STLT	STREET LIGHT
BSM	BIOTREATMENT SOIL MIX	JP	JOINT POLE	SW	SIDEWALK
C	CONCRETE	L	LENGTH	T	TELEPHONE
CA	CALIFORNIA	L/S	LANDSCAPE	TBM	TEMPORARY BENCHMARK
CASQA	CALIFORNIA STORMWATER QUALITY ASSOCIATION	LF	LINEAL FEET	TC	TOP OF CURB
CB	CATCH BASIN	LT	LIGHT	TCO	TRAFFIC CONTROL DEVICE
CCTV	CLOSED-CIRCUIT TELEVISION	LUM	LUMINAIRE	TEV	TELEPHONE VAULT
CL	CENTERLINE	MAX	MAXIMUM	TL	TRAFFIC LIGHT
CLR	CLEAR	MH	MANHOLE	TOE	TOE OF SLOPE
COMM	COMMUNICATION	MIN	MINIMUM	TOP	TOP OF SLOPE / TOP OF PIPE
CONC	CONCRETE	MON	MONUMENT	TS	TRAFFIC SIGNAL
CVLT	COMMUNICATION VAULT	MTR	METER	TSPB	TRAFFIC SIGNAL PULL BOX
DCV	DETECTOR CHECK VALVE	N	NORTH	TVLT	TELEPHONE VAULT
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	NG	NATURAL GROUND	TOW	TOP OF WALL
DI	DROP INLET	N.I.C.	NOT IN CONTRACT	TYP	TYPICAL
DIA	DIAMETER	NO	NUMBER	UE	UNDERGROUND ELECTRIC
DWG	DRAWINGS	N.T.S.	NOT TO SCALE	UT	UNDERGROUND TELEPHONE
E	ELECTRIC / EAST	O.C.	ON CENTER	UTIL	UTILITY
EBMUD	EAST BAY MUNICIPAL UTILITY DISTRICT	OH	OVERHANG	VAR	VARIABLE
ECAB	ELECTRIC CABINET	P	PAVEMENT	VAT	VACUUM AIR TUBE
EVLT	ELECTRIC VAULT	PB	PULL BOX	VLT	VAULT
EX	EXISTING	PCC	PORTLAND CEMENT CONCRETE	W	WEST
FDC	FIRE DEPARTMENT CONNECTION	PGE	PACIFIC GAS AND ELECTRIC	W/	WITH
FF	FINISHED FLOOR	PVI	POST INDICATOR VALVE	WM	WATER METER
FG	FINISHED GRADE	FDC	FACE OF CONNECTION	WTR	WATER LINE
FH	FIRE HYDRANT	PP	POWER POLE	WV	WATER VALVE
FL	FLOW LINE	PVC	POLYVINYL CHLORIDE	WVL	WATER VAULT
FND	FOUND	RD	ROAD		
FQC	FACE OF CURB	RPPA	REDUCED PRESSURE PRINCIPLE ASSEMBLY		
FP	FIRE PROTECTION	S	SLOPE / SANITARY / SOUTH		
FS	FINISHED SURFACE	SAN	SANITARY SEWER PVC		
FT	FEET	SDMH	STORM DRAIN MANHOLE		

### ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



RELATIVITY ARCHITECTS  
 427 COLTON ST., CA 94609  
 P: 510.573.6300



CALICHI DESIGN GROUP  
 3240 PERALTA STREET, #3  
 OAKLAND, CA 94608  
 (510) 250-7471  
 WWW.CALICHI.COM



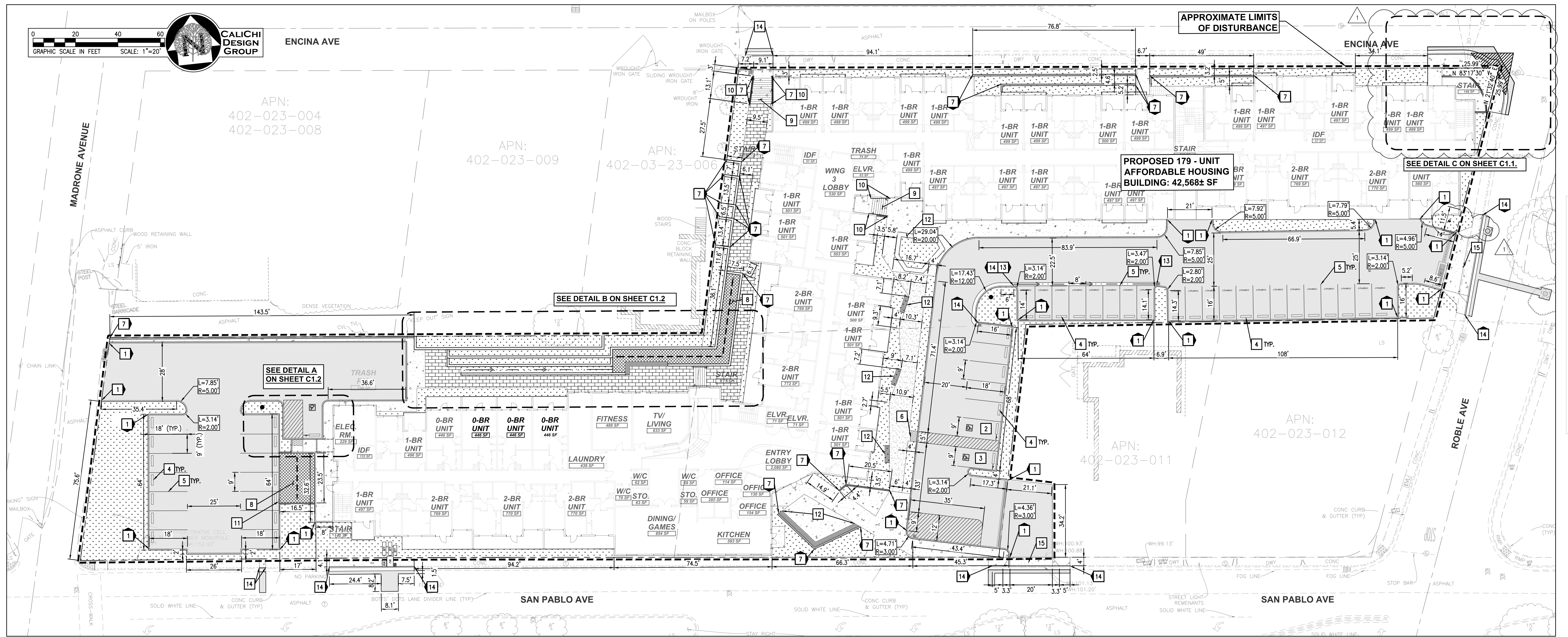
VISTA WOODS APARTMENTS  
 600 ROBLE AVENUE  
 Pinole, CA, 94564

CIVIL TITLE SHEET  
 DATE: 06/16/2021 ISSUE: PLANNING RESUBMITTAL  
 DEVELOPMENT APPLICATION

DRAWN BY: KL  
 JOB NO.: 2021-350-001  
 SCALE: AS SHOWN

SHEET  
 C0.1





APPROXIMATE LIMITS OF DISTURBANCE

PROPOSED 179 - UNIT AFFORDABLE HOUSING BUILDING: 42,568± SF

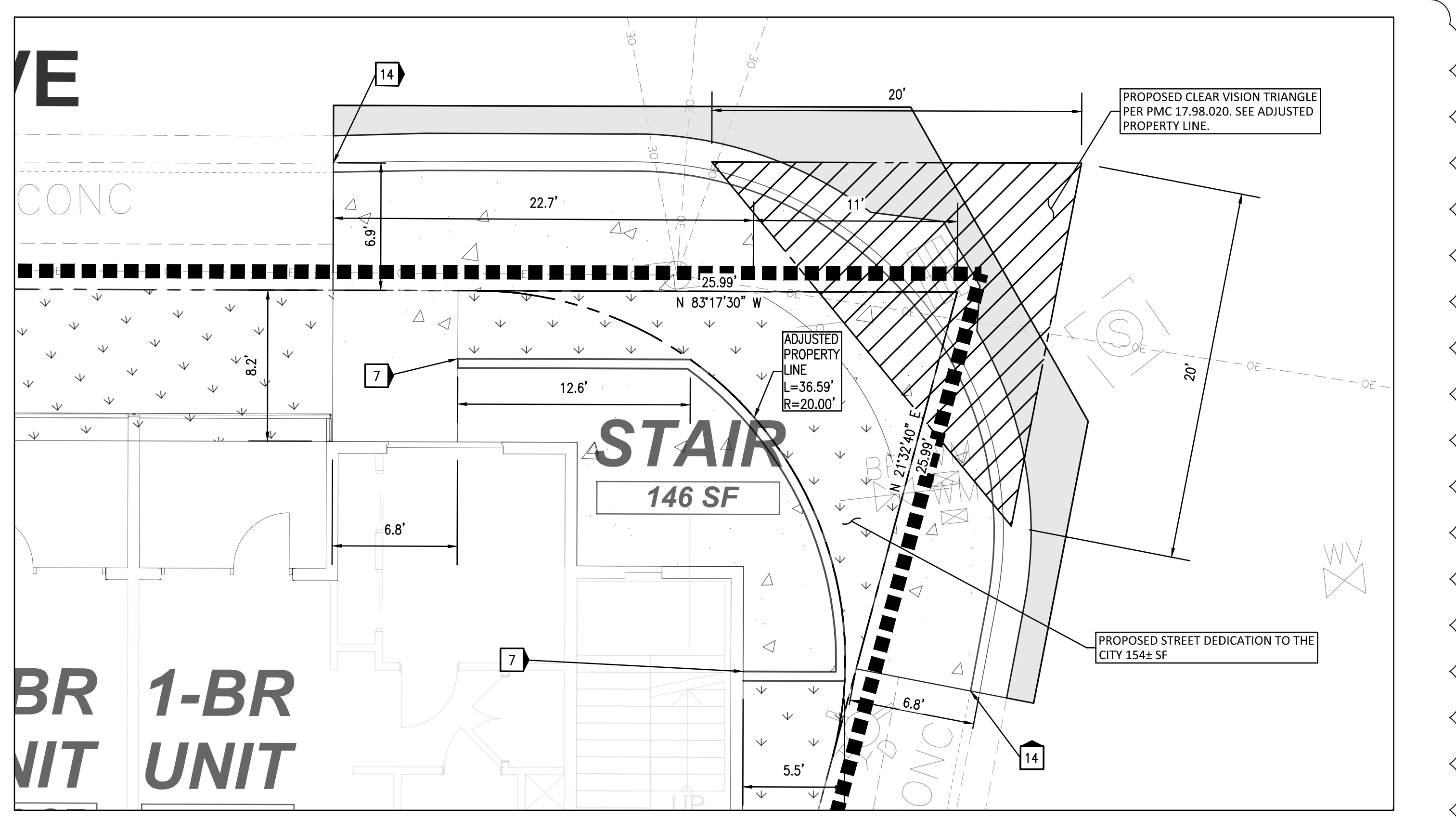
SEE DETAIL C ON SHEET C1.1

SEE DETAIL B ON SHEET C1.2

SEE DETAIL A ON SHEET C1.2

APN: 402-023-011

APN: 402-023-012



DETAIL C  
SCALE: 1" = 5'

**GENERAL NOTES:**

1. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
2. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
3. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
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6. ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

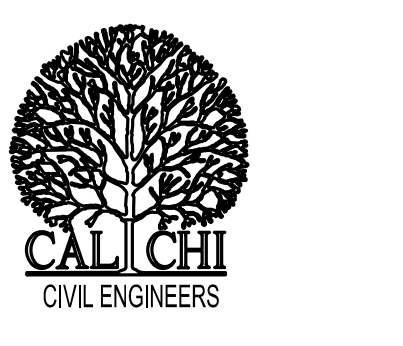
**ENGINEER'S ADA NOTES:**

- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CURRENT AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MUNICIPAL AND STATE ADA REGULATIONS.
1. RAMP SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%)
  2. RAMP ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 (5%) AND 1:12 (8.33%) AND SHALL HAVE A MINIMUM WIDTH OF 4 FEET (EXCEPT AT DOORWAYS) AND A MAXIMUM CROSS-SLOPE OF 2%. RAMP EXCEEDING 30 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2% MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES.
  3. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMP SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
  4. TRUNCATED DOMES AS DETECTABLE WARNINGS ARE REQUIRED ON ALL WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN WALKWAY AND VEHICULAR WAY.
  5. ANY REQUEST BY A MUNICIPALITY OR INSPECTOR TO MODIFY THE ACCESSIBILITY DETAILS OR DESIGN SHOWN ON THESE PLANS AND SPECIFICATIONS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. ANY CHANGES MADE BY A PRIMARY OR SUB-CONTRACTOR WITHOUT APPROVAL FROM THE ENGINEER AND LATER FOUND TO BE NON-COMPLIANT WITH THE DETAILS AS SHOWN IN THESE PLANS AND SPECIFICATIONS AND FEDERAL, STATE AND LOCAL LAW WILL BE REMOVED AND REPLACED AND MADE FULLY COMPLIANT REGARDLESS OF MAGNITUDE. AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL FOLLOW THE RFI PROCESS IN ESTABLISHING THE APPROVAL OR DENIAL OF CHANGES TO ADA RELATED DETAILS OR MOUNTING DIMENSIONS.
  6. 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.

**SITE PLAN KEY NOTES**

1. PROPOSED 6" VERTICAL CURB.
2. PROPOSED VAN ADA ACCESSIBLE PARKING STALL WITH ADJACENT LOADING AREA.
3. PROPOSED ACCESSIBLE PARKING STALL WITH ACCESSIBLE LOADING AND ACCESSIBLE MARKINGS.
4. PROPOSED CONCRETE WHEEL STOPS.
5. PROPOSED PAVEMENT STRIPING, 2 COATS OF WHITE LATEX TRAFFIC PAINT PER MUTCD STANDARD SPECIFICATIONS.
6. PROPOSED ADA ACCESSIBLE CURB RAMP WITH DETECTIBLE WARNING.
7. PROPOSED RETAINING WALL. SEE GRADING PLAN FOR WALL HEIGHT. SEE LANDSCAPE AND STRUCTURAL PLANS FOR CONSTRUCTION.
8. PROPOSED BIORETENTION PLANTER.
9. PROPOSED STAIRS. SEE LANDSCAPE PLANS FOR DETAILS.
10. PROPOSED HANDRAIL. SEE LANDSCAPE PLANS FOR DETAILS.
11. PROPOSED 18" WIDE CURB CUT.
12. PROPOSED BENCH - SEE LANDSCAPE PLANS FOR DETAILS.
13. PROPOSED VALLEY GUTTER.
14. PROPOSED CURB AND GUTTER.
15. PROPOSED 20' CLEAR VISION TRIANGLE PER PMC 17.98.020

PROPOSED	LEGEND	EXISTING
9	PROPERTY LINE	9
10	EASEMENT LINE	10
WTR	1-FOOT CONTOUR	WTR
FP	5-FOOT CONTOUR	WTR
IRR	WATER LINE	WTR
SS	FIRE PROTECTION WATER LINE	SAN
SD	IRRIGATION WATER LINE	SD
	SANITARY SEWER LINE	UE
	STORM DRAIN LINE	G
	UNDERGROUND ELECTRIC	OE
	GAS LINE	X
	OVERHEAD ELECTRIC	
	FENCE	
	APPROXIMATE LIMIT OF DISTURBANCE	
	TREE	
	WATER VALVE	
	FIRE HYDRANT/CONNECTION	
	SEWER MANHOLE	
	SANITARY SEWER CLEANOUT	
	STORM DRAIN MANHOLE	
	STORM DRAIN CLEANOUT	
	CATCH BASIN	
	LIGHT POLE, UTILITY POLE, OR PULLBOX	
	GAS VALVE	
	ELECTRIC VAULTS	
	ELECTRIC BOX	
	SIGN	
	TRENCH DRAIN	
	TRANSFORMER	
	STANDARD PCC PAVEMENT.	
	STANDARD AC PAVEMENT.	
	STANDARD LANDSCAPE. SEE LANDSCAPE PLANS FOR DETAILS	
	STANDARD BIOTREATMENT PLANTER.	
	STANDARD PERVIOUS PAVEMENT	
	PROPOSED DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DETAILS	



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2021/06/18

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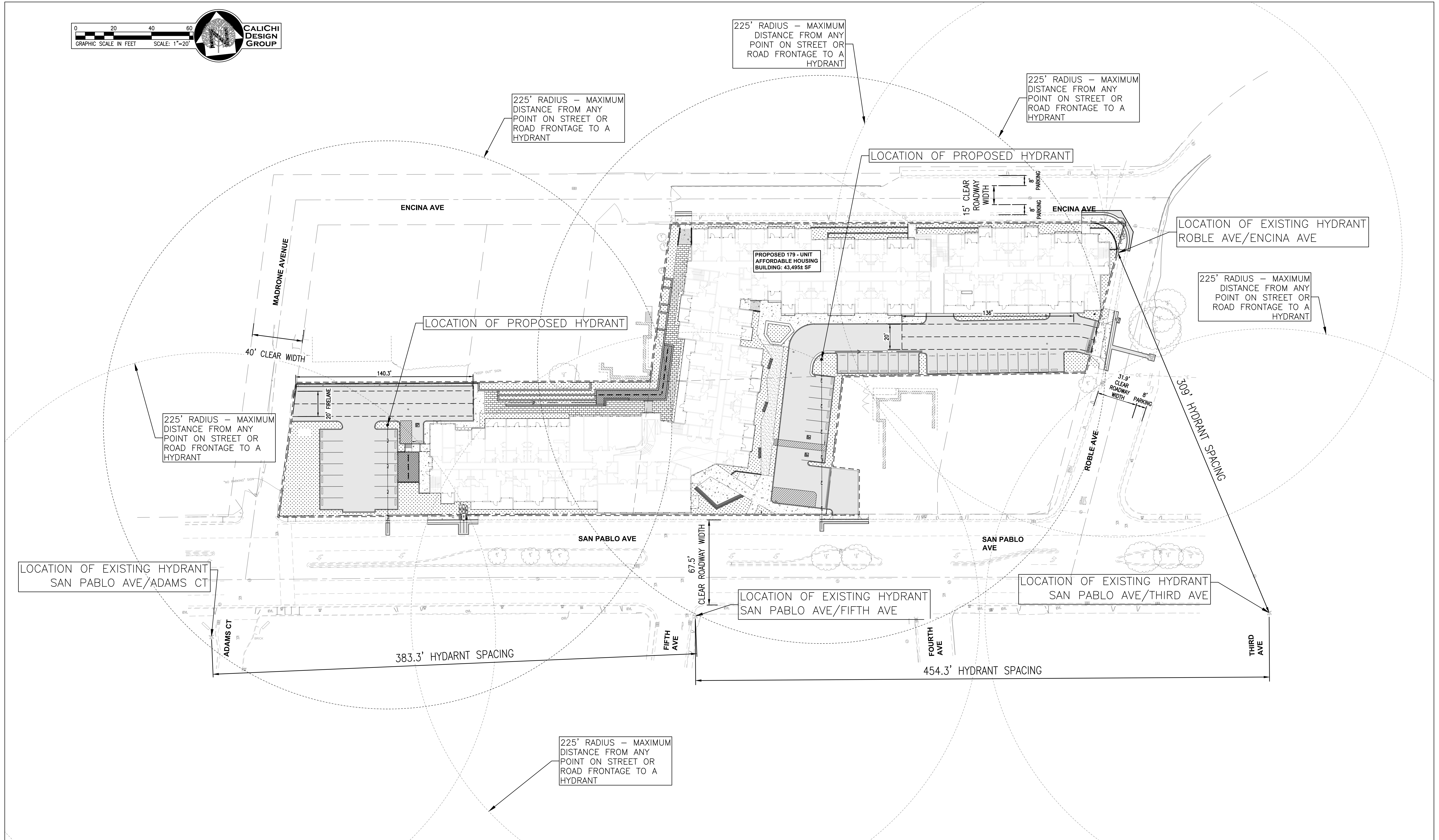
SITE AND PAVING PLAN  
DATE: 06/16/2021 ISSUE: PLANNING RESUBMITTAL  
DEVELOPMENT APPLICATION

DRAWN BY: KL  
JOB NO.: 2021-350-001  
SCALE: AS SHOWN









**PUBLIC ROW CLEAR WIDTH:**

- SAN PABLO AVE:  
TOTAL ROW WIDTH = 45.6-FT
- PARALLEL PARKING:  
NORTH = NA  
SOUTH = 8.5-FT±
- TOTAL CLEAR WIDTH = 56-FT±
- ROBLE AVE:  
TOTAL ROW WIDTH = 40-FT
- PARALLEL PARKING:  
WEST = NA  
EAST = NA
- TOTAL CLEAR WIDTH = 37-FT±
- ENCINA AVE:  
TOTAL ROW WIDTH = 31-FT
- PARALLEL PARKING:  
NORTH = NA±  
SOUTH = NA±
- TOTAL CLEAR WIDTH = 28-FT±

SEE MEASUREMENTS ON THIS SHEET FOR MORE ACCURATE MEASUREMENTS.

**PROPOSED**

- 9
- 10
- WTR
- FP
- IRR
- SS
- SD
- WM
- WV

**LEGEND**

- PROPERTY LINE
- EASEMENT LINE
- 1-FOOT CONTOUR
- 5-FOOT CONTOUR
- WATER LINE
- FIRE PROTECTION WATER LINE
- IRRIGATION WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- UNDERGROUND ELECTRIC
- GAS LINE
- OVERHEAD ELECTRIC
- FENCE
- APPROXIMATE LIMIT OF DISTURBANCE
- TREE
- WATER VALVE
- FIRE HYDRANT/CONNECTION
- WATER METER OR BOX
- SEWER MANHOLE

**EXISTING**

- 9
- 10
- WTR
- WTR
- WTR
- SAN
- SD
- UE
- G
- OE
- FDC

**LEGEND**

- STORM DRAIN MANHOLE
- STORM DRAIN CLEANOUT
- CATCH BASIN
- LIGHT POLE, UTILITY POLE, OR PULLBOX
- GAS VALVE
- ELECTRIC VAULTS
- ELECTRIC BOX
- SIGN
- TRENCH DRAIN
- TRANSFORMER
- STANDARD PCC PAVEMENT.
- STANDARD AC PAVEMENT.
- STANDARD LANDSCAPE. SEE LANDSCAPE PLANS FOR DETAILS
- STANDARD BIOTREATMENT PLANTER.
- STANDARD PERVIOUS PAVEMENT
- PROPOSED DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DETAILS

**FIRE PROTECTION PLAN**

DATE: 06/16/2021 ISSUE: PLANNING RESUBMITTAL

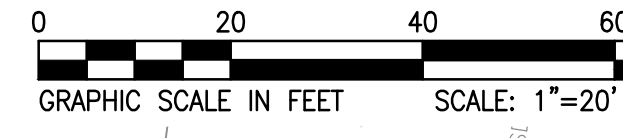
DRAWN BY: KL  
JOB NO.: 2021-350-001  
SCALE: AS SHOWN

**SHEET**

C1.4

DEVELOPMENT APPLICATION





**CALICHI  
DESIGN  
GROUP**

ENCINA AVE

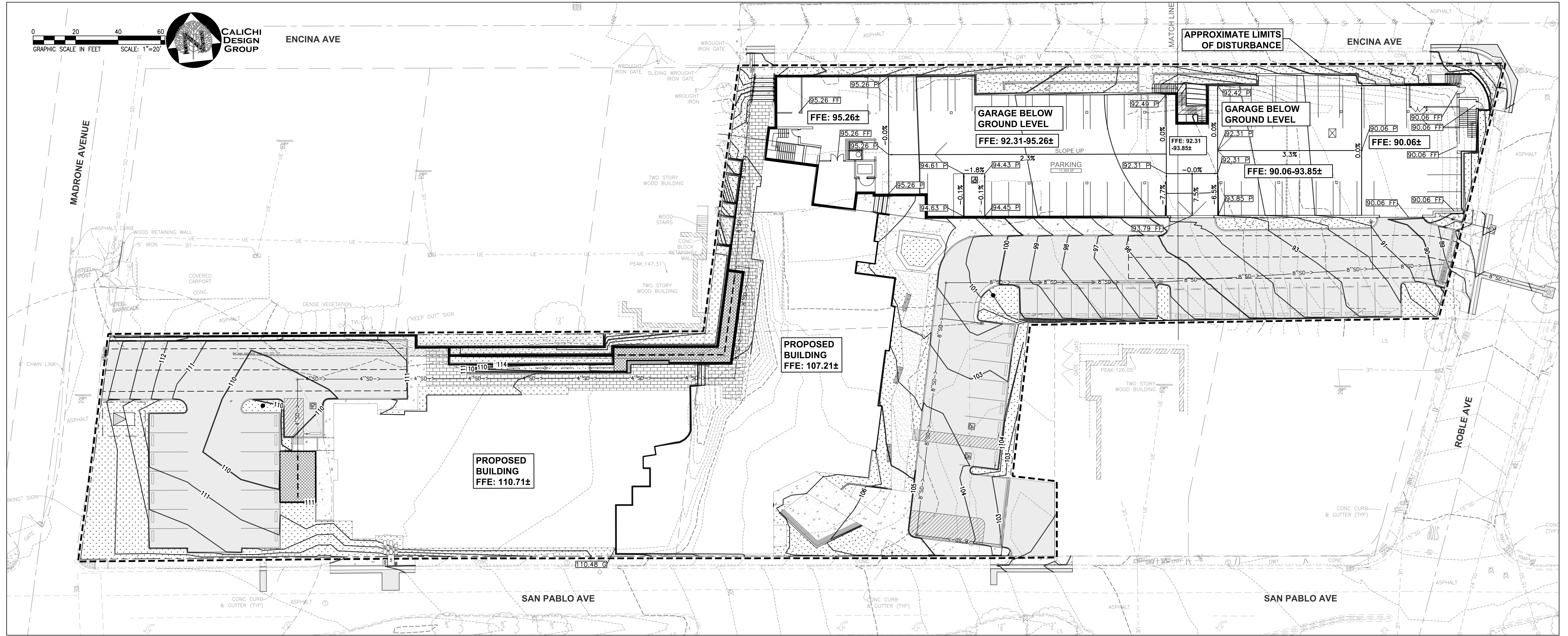
MADRONE AVENUE

ENCINA AVE

ROBLE AVE

SAN PABLO AVE

SAN PABLO AVE



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**GRADING NOTES:**

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**PAVEMENT ELEVATION NOTE:**

UNLESS OTHERWISE NOTED, PAVEMENT ELEVATION (P) IS 6" BELOW THE TOP OF CURB (TC) ELEVATION.

**SPOT GRADING LEGEND**

- 95.26 X- INDICATES ELEVATION TO MATCH EXISTING ITEM
- 95.26 P INDICATES ELEVATION AT TOP OF ASPHALT PAVEMENT
- 95.26 FF INDICATES ELEVATION AT FLOOR FINISH
- 1.5% DRAINAGE ARROW AND PROPOSED SLOPE

**PROPOSED**

- 9 1-FOOT CONTOUR
- 10 5-FOOT CONTOUR
- WTR WATER LINE
- FP FIRE PROTECTION WATER LINE
- IRR IRRIGATION WATER LINE
- SS SANITARY SEWER LINE
- SD STORM DRAIN LINE

**LEGEND**

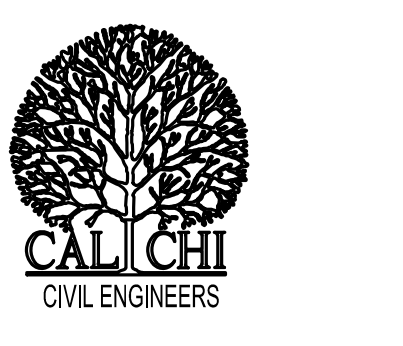
- PROPERTY LINE
- EASEMENT LINE
- 1-FOOT CONTOUR
- 5-FOOT CONTOUR
- WATER LINE
- FIRE PROTECTION WATER LINE
- IRRIGATION WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- UNDERGROUND ELECTRIC
- GAS LINE
- OVERHEAD ELECTRIC
- FENCE
- APPROXIMATE LIMIT OF DISTURBANCE

**EXISTING**

- 9
- 10
- WTR
- FP
- IRR
- SS
- SD
- UE
- G
- OE
- X

	WATER VALVE		TREE
	FIRE HYDRANT/CONNECTION		FDC
	WATER METER OR BOX		SEWER MANHOLE
	SEWER MANHOLE		SANITARY SEWER CLEANOUT
	SANITARY SEWER CLEANOUT		STORM DRAIN MANHOLE
	STORM DRAIN MANHOLE		STORM DRAIN CLEANOUT
	STORM DRAIN CLEANOUT		CATCH BASIN
	CATCH BASIN		LIGHT POLE, UTILITY POLE, OR PULLBOX
	LIGHT POLE, UTILITY POLE, OR PULLBOX		GAS VALVE
	GAS VALVE		ELECTRIC VAULTS
	ELECTRIC VAULTS		ELECTRIC BOX
	ELECTRIC BOX		SIGN
	SIGN		TRENCH DRAIN
	TRENCH DRAIN		TRANSFORMER
	TRANSFORMER		STANDARD PCC PAVEMENT.
	STANDARD PCC PAVEMENT.		STANDARD AC PAVEMENT.
	STANDARD AC PAVEMENT.		STANDARD LANDSCAPE. SEE LANDSCAPE PLANS FOR DETAILS
	STANDARD LANDSCAPE. SEE LANDSCAPE PLANS FOR DETAILS		STANDARD BIOTREATMENT PLANTER.
	STANDARD BIOTREATMENT PLANTER.		STANDARD PERVIOUS PAVEMENT
	STANDARD PERVIOUS PAVEMENT		PROPOSED DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DETAILS
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**RELATIVITY  
ARCHITECTS**



**CALICHI DESIGN GROUP**  
3240 PERALTA STREET, #3  
OAKLAND, CA 94608  
(510) 250-7877  
WWW.CALICHI.COM



*Reco Vicente*  
2021/06/18

**VISTA WOODS APARTMENTS**  
**600 ROBLE AVENUE**  
Pinole, CA, 94564

**PRECISE GRADING AND  
DRAINAGE PLAN - GARAGE**

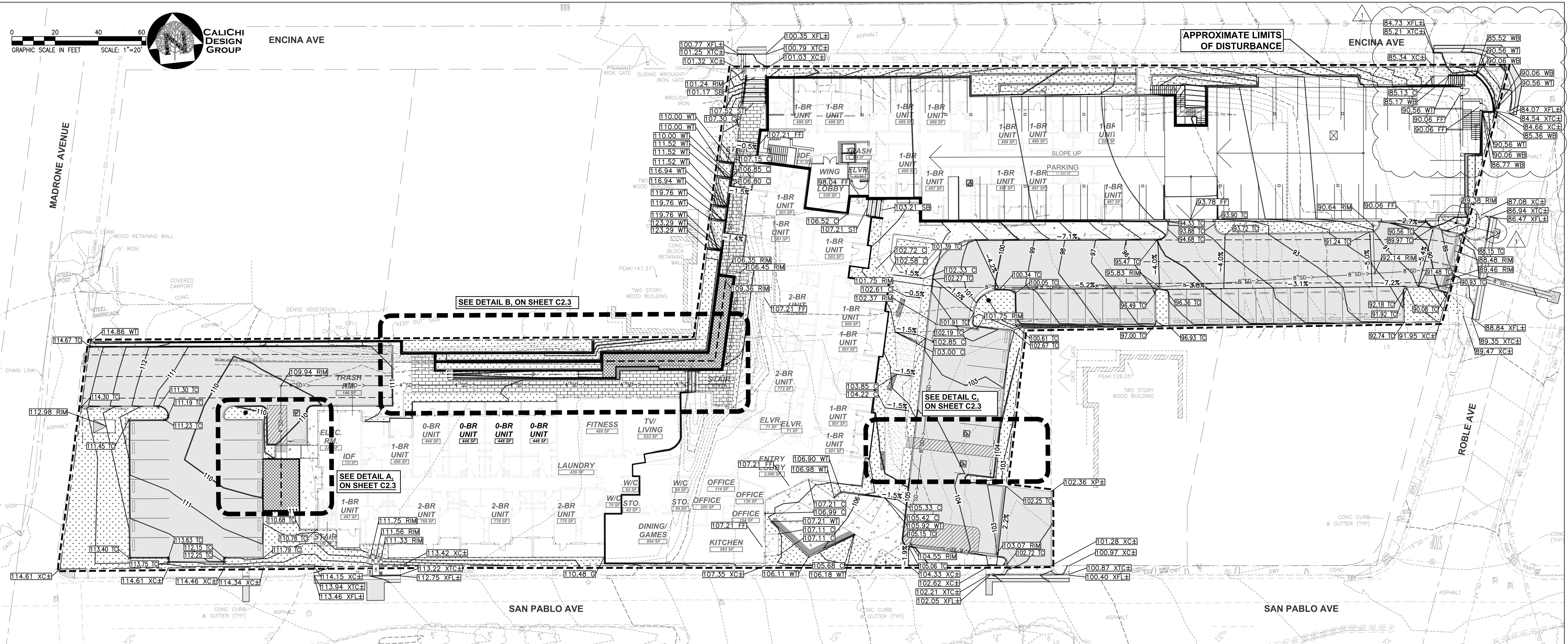
DATE: 06/16/2021 ISSUE: PLANNING RESUBMITTAL

DRAWN BY: KL  
JOB NO.: 2021-350-001  
SCALE: AS SHOWN

SHEET  
C2.1

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**SPOT GRADING LEGEND**

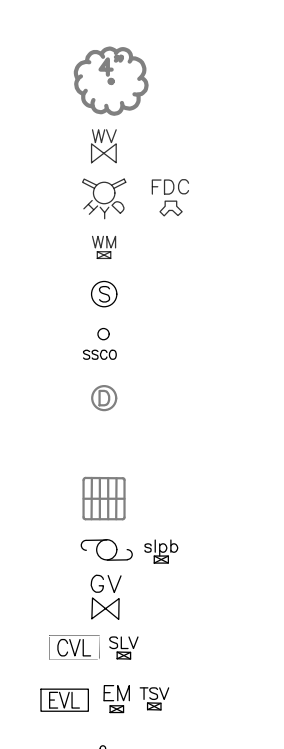
- 80.00 X=C INDICATES ELEVATION TO MATCH EXISTING ITEM
- 80.00 TC INDICATES ELEVATION AT TOP OF CURB
- 80.00 F INDICATES ELEVATION AT FINISHED GROUND
- 80.00 C INDICATES ELEVATION AT TOP OF CONCRETE
- 80.00 FL INDICATES FLOWLINE ELEVATION OF PIPE, SWALE, OR GUTTER
- 80.00 RIM INDICATES RIM ELEVATION OF UTILITY
- 80.00 P INDICATES ELEVATION AT TOP OF ASPHALT PAVEMENT
- 80.00 SB INDICATES ELEVATIONS AT BOTTOM OF STAIRS.
- 80.00 ST INDICATES ELEVATION AT TOP OF STAIRS
- 80.00 WB INDICATES ELEVATION AT BOTTOM OF WALL
- 80.00 WI INDICATES ELEVATION AT TOP OF WALL
- 80.00 FF INDICATES ELEVATION AT FLOOR FINISH
- 1.5% INDICATES DRAINAGE ARROW AND PROPOSED SLOPE

**PROPOSED**

- 9 1-FOOT CONTOUR
- 10 5-FOOT CONTOUR
- WTR WATER LINE
- WTR FIRE PROTECTION WATER LINE
- WTR IRRIGATION WATER LINE
- SS SANITARY SEWER LINE
- SD STORM DRAIN LINE
- UE UNDERGROUND ELECTRIC
- G GAS LINE
- OE OVERHEAD ELECTRIC
- X FENCE
- APPROXIMATE LIMIT OF DISTURBANCE
- WATER VALVE
- FIRE HYDRANT/CONNECTION
- WATER METER OR BOX
- SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- STORM DRAIN MANHOLE
- STORM DRAIN CLEANOUT
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- GAS VALVE
- ELECTRIC VAULTS
- ELECTRIC BOX
- SIGN
- TRENCH DRAIN
- TRANSFORMER
- STANDARD PCC PAVEMENT.
- STANDARD AC PAVEMENT.
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- STANDARD BIOTREATMENT PLANTER.
- STANDARD PERVIOUS PAVEMENT
- PROPOSED DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DETAILS

**LEGEND**

- PROPERTY LINE
- EASEMENT LINE
- 1-FOOT CONTOUR
- 5-FOOT CONTOUR
- WTR WATER LINE
- WTR FIRE PROTECTION WATER LINE
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**VISTA WOODS APARTMENTS**  
**600 ROBLE AVENUE**  
**Pinole, CA, 94564**

**PRECISE GRADING AND DRAINAGE PLAN**  
 DATE: 08/16/2021 ISSUE: PLANNING RESUBMITTAL  
 DRAWN BY: KL  
 JOB NO.: 2021-350-001  
 SCALE: AS SHOWN

**SHEET C2.2**

**RELATIVITY ARCHITECTS**  
 427 COLTON ST., CA 94613  
 (510) 250-9777  
 WWW.CALICHI.COM

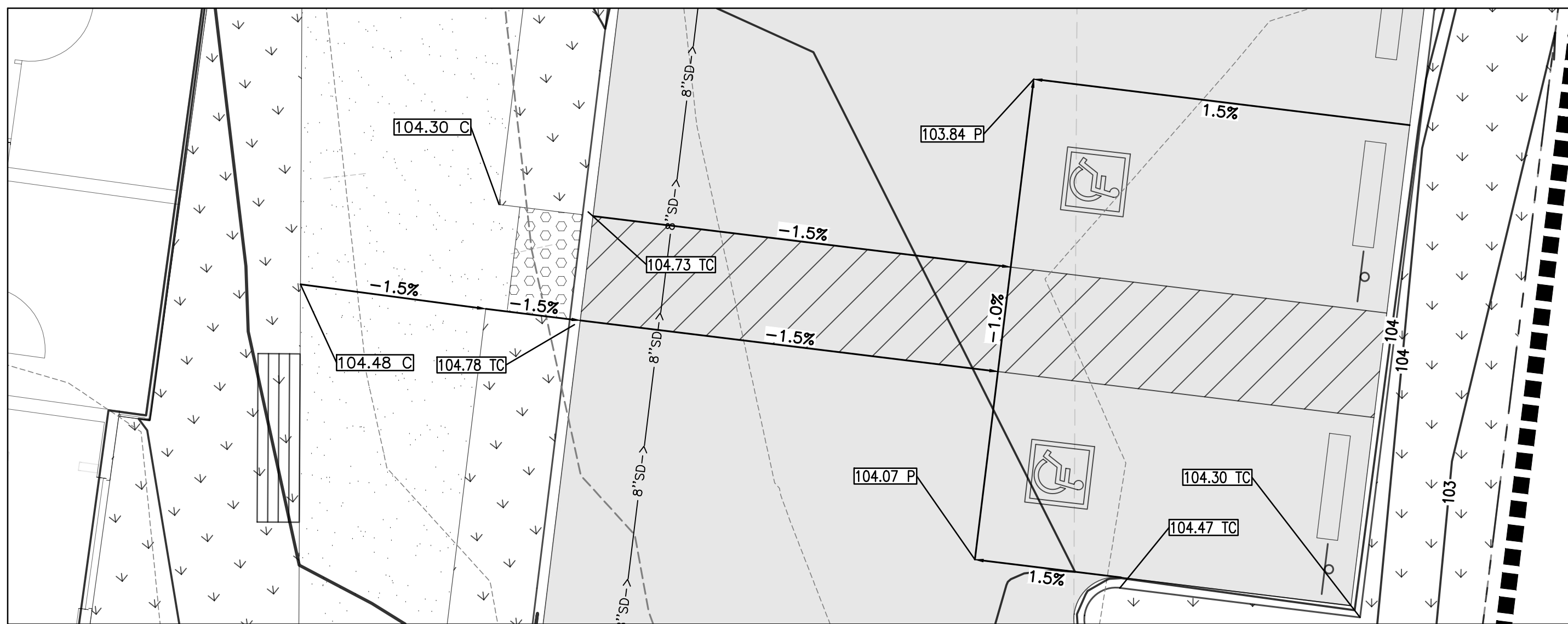
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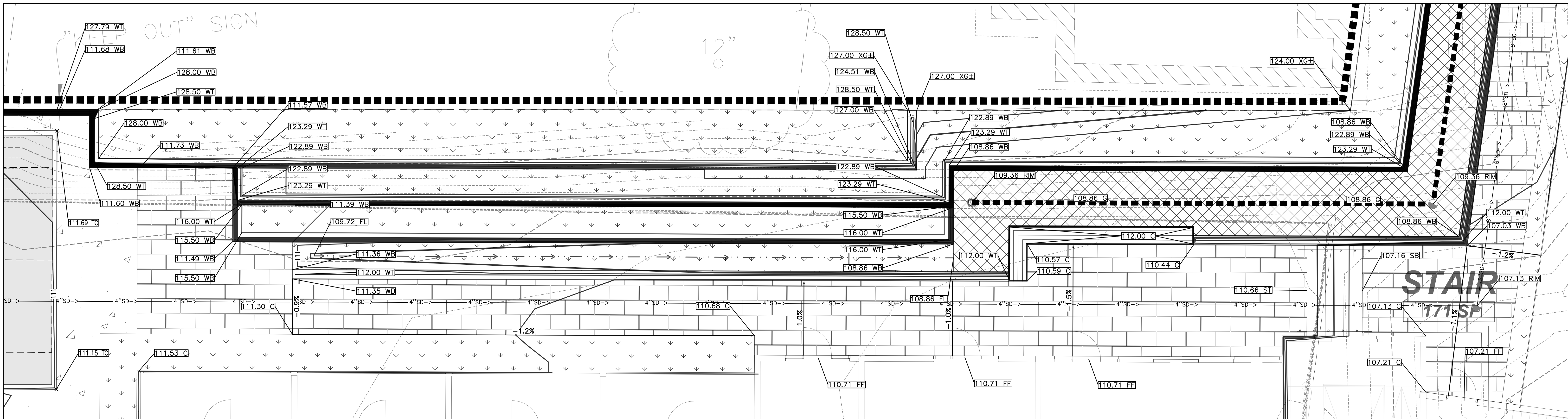
Reco Vicente  
 2021/06/18

BIMBAUD AP015 - BIMBAUD Bldg for AP015-001.dwg (AP015) - 3/2/2021

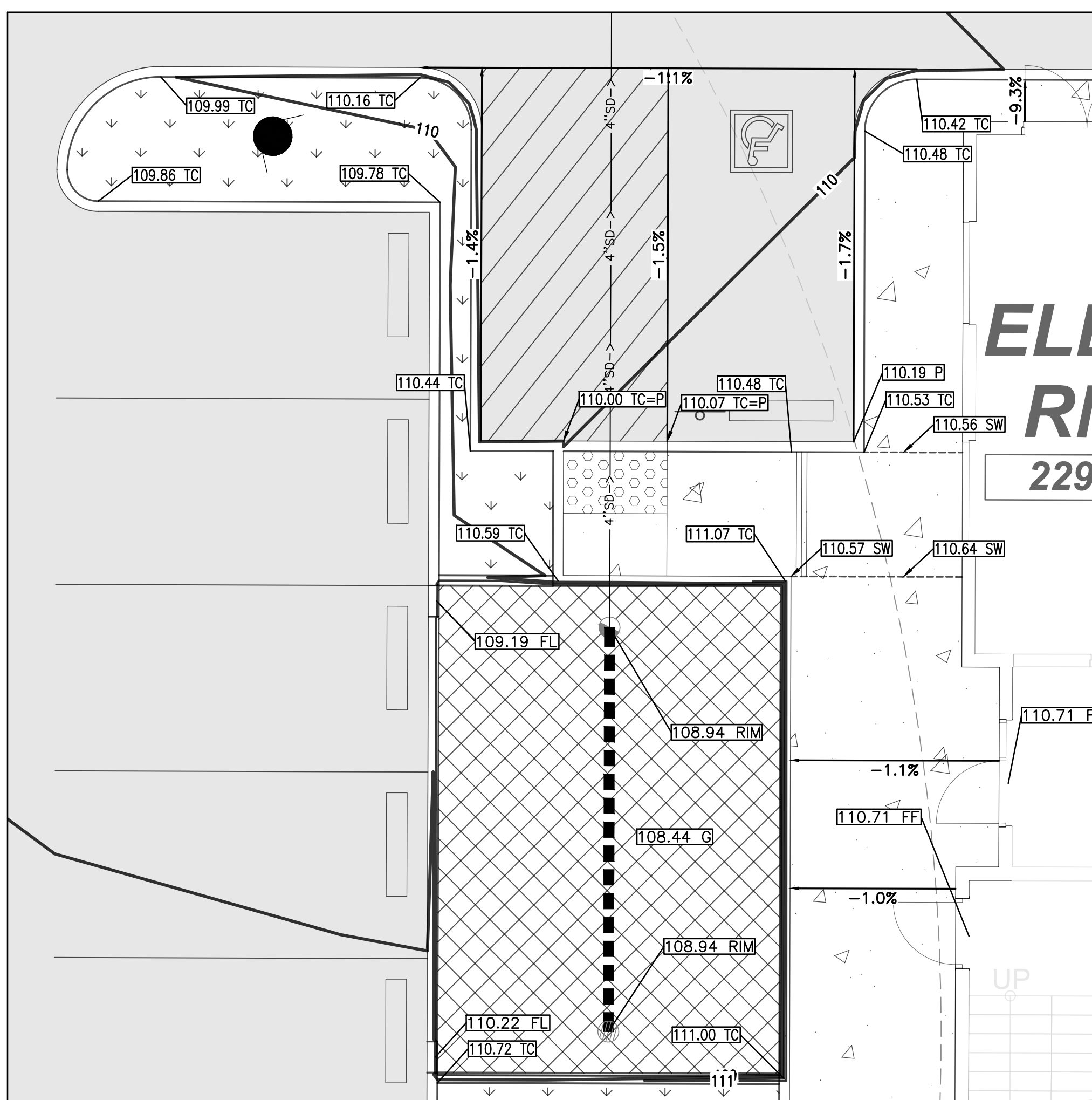




**DETAIL C**  
SCALE: 1" = 5'



**DETAIL B**  
SCALE: 1" = 5'



**DETAIL A**  
SCALE: 1" = 5'

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6. ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

**GRADING NOTES:**

1. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

**PAVEMENT ELEVATION NOTE:**

UNLESS OTHERWISE NOTED, PAVEMENT ELEVATION (P) IS 6" BELOW THE TOP OF CURB (TC) ELEVATION.

**SPOT GRADING LEGEND**

- INDICATES ELEVATION TO MATCH EXISTING ITEM
- INDICATES ELEVATION AT TOP OF CURB
- INDICATES ELEVATION AT FINISHED GROUND
- INDICATES ELEVATION AT TOP OF CONCRETE
- INDICATES FLOWLINE ELEVATION OF PIPE, SWALE, OR GUTTER
- INDICATES RIM ELEVATION OF UTILITY
- INDICATES ELEVATION AT TOP OF ASPHALT PAVEMENT
- INDICATES ELEVATIONS AT BOTTOM OF STAIRS.
- INDICATES ELEVATION AT TOP OF STAIRS
- INDICATES ELEVATION AT BOTTOM OF WALL
- INDICATES ELEVATION AT TOP OF WALL
- INDICATES ELEVATION AT FLOOR FINISH
- DRAINAGE ARROW AND PROPOSED SLOPE

**PROPOSED**

- 9
- 10
- WTR
- FP
- IRR
- SS
- SD
- UE
- G
- OE
- FENCE
- APPROXIMATE LIMIT OF DISTURBANCE
- TREE
- WATER VALVE
- FIRE HYDRANT/CONNECTION
- WATER METER OR BOX
- SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- STORM DRAIN MANHOLE
- STORM DRAIN CLEANOUT
- CATCH BASIN
- LIGHT POLE, UTILITY POLE, OR PULLBOX
- GAS VALVE
- ELECTRIC VAULTS
- ELECTRIC BOX
- SIGN
- TRENCH DRAIN
- TRANSFORMER
- STANDARD PCC PAVEMENT.
- STANDARD AC PAVEMENT.
- STANDARD LANDSCAPE. SEE LANDSCAPE PLANS FOR DETAILS
- STANDARD BIOTREATMENT PLANTER.
- STANDARD PERVIOUS PAVEMENT
- PROPOSED DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DETAILS

**LEGEND**

- PROPERTY LINE
- EASEMENT LINE
- 1-FOOT CONTOUR
- 5-FOOT CONTOUR
- WATER LINE
- FIRE PROTECTION WATER LINE
- IRRIGATION WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- UNDERGROUND ELECTRIC
- GAS LINE
- OVERHEAD ELECTRIC
- FENCE
- APPROXIMATE LIMIT OF DISTURBANCE
- TREE
- WATER VALVE
- FIRE HYDRANT/CONNECTION
- WATER METER OR BOX
- SEWER MANHOLE
- SANITARY SEWER CLEANOUT
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- STANDARD PERVIOUS PAVEMENT
- PROPOSED DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DETAILS

VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
Pinole, CA, 94564

**PRECISE GRADING AND DRAINAGE PLAN**

DATE: 08/18/2021 ISSUE: PLANNING RESUBMITTAL

DRAWN BY: KL  
JOB NO.: 2021-350-001  
SCALE: AS SHOWN

**SHEET**

**C2.3**

RELATIVITY ARCHITECTS

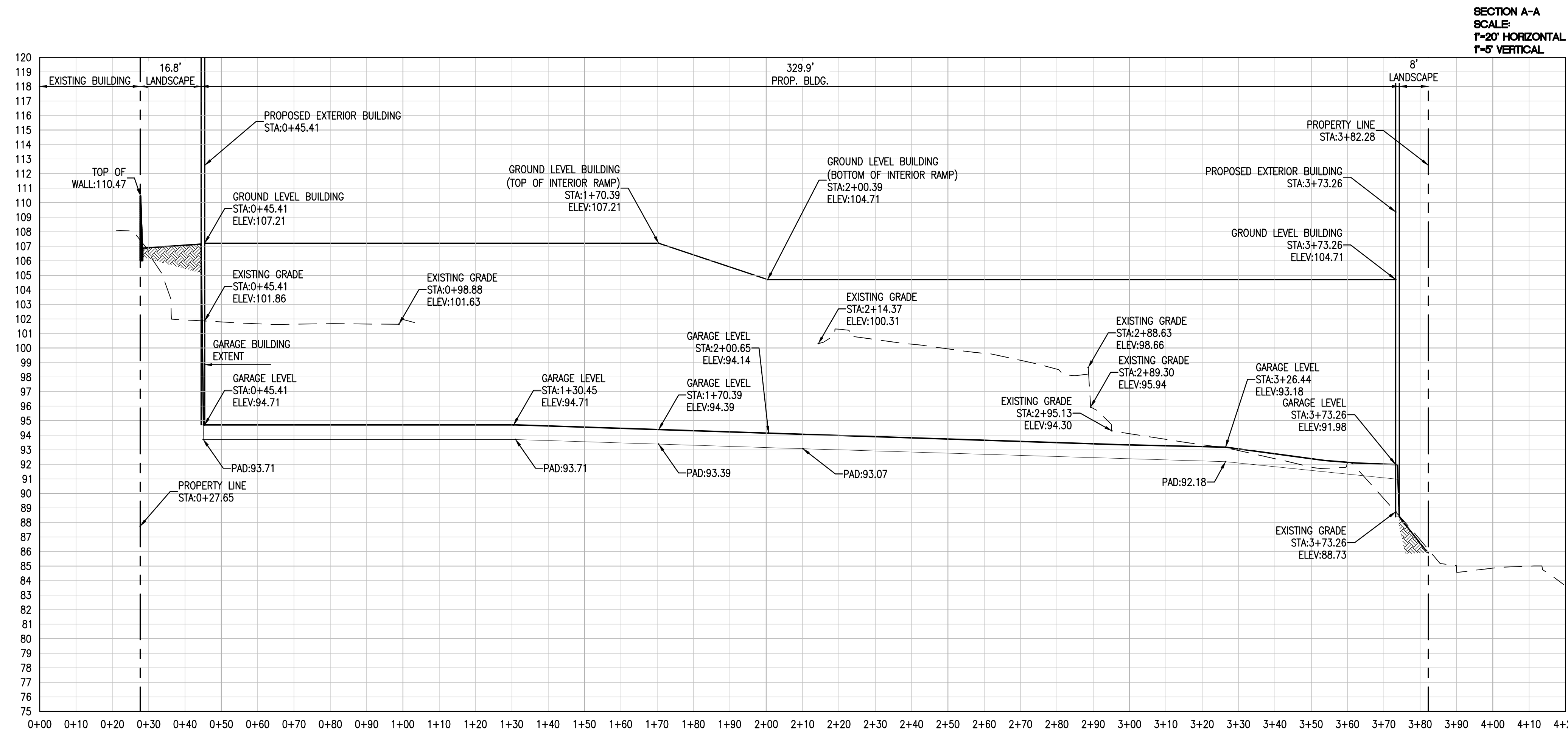
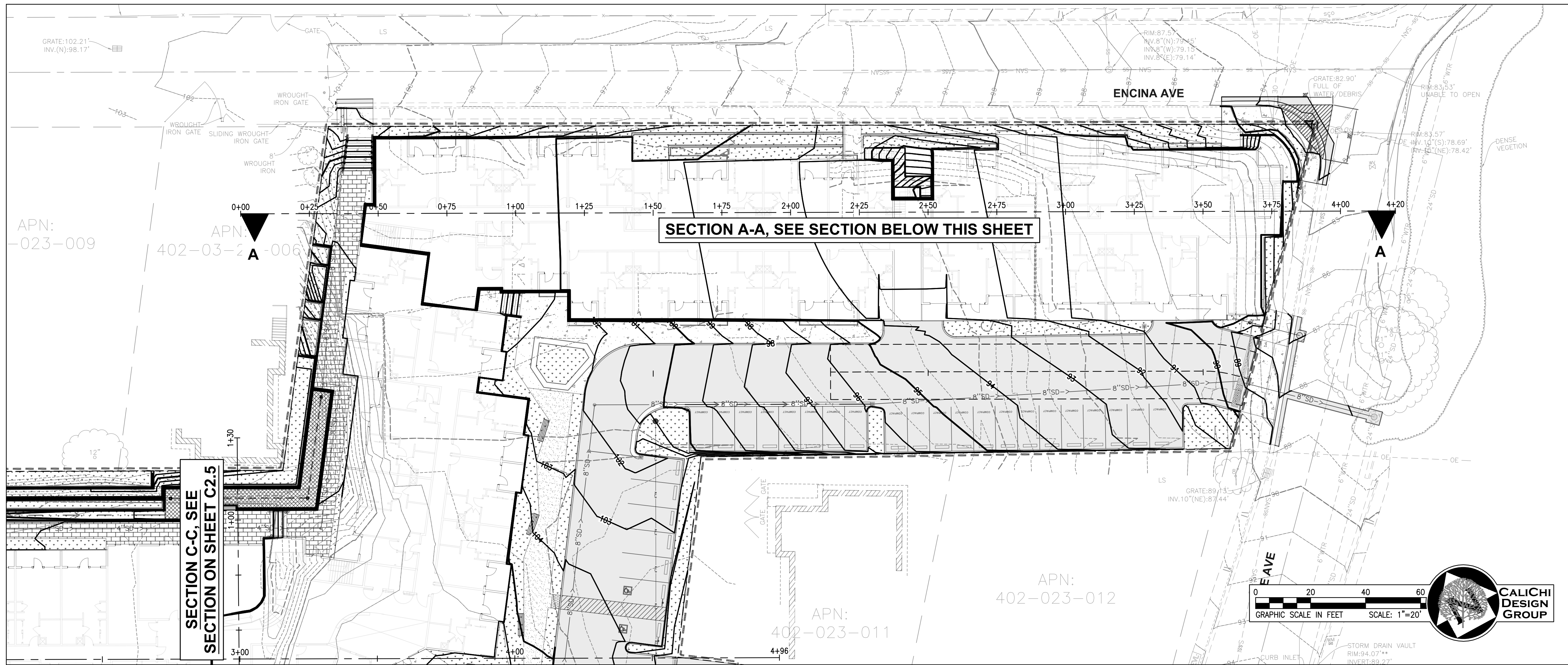
CALICHI CIVIL ENGINEERS  
CALICHI DESIGN GROUP  
3240 PERALTA STREET, #3  
OAKLAND, CA 94608  
(510) 250-7477  
WWW.CALICHI.COM



DEVELOPMENT APPLICATION

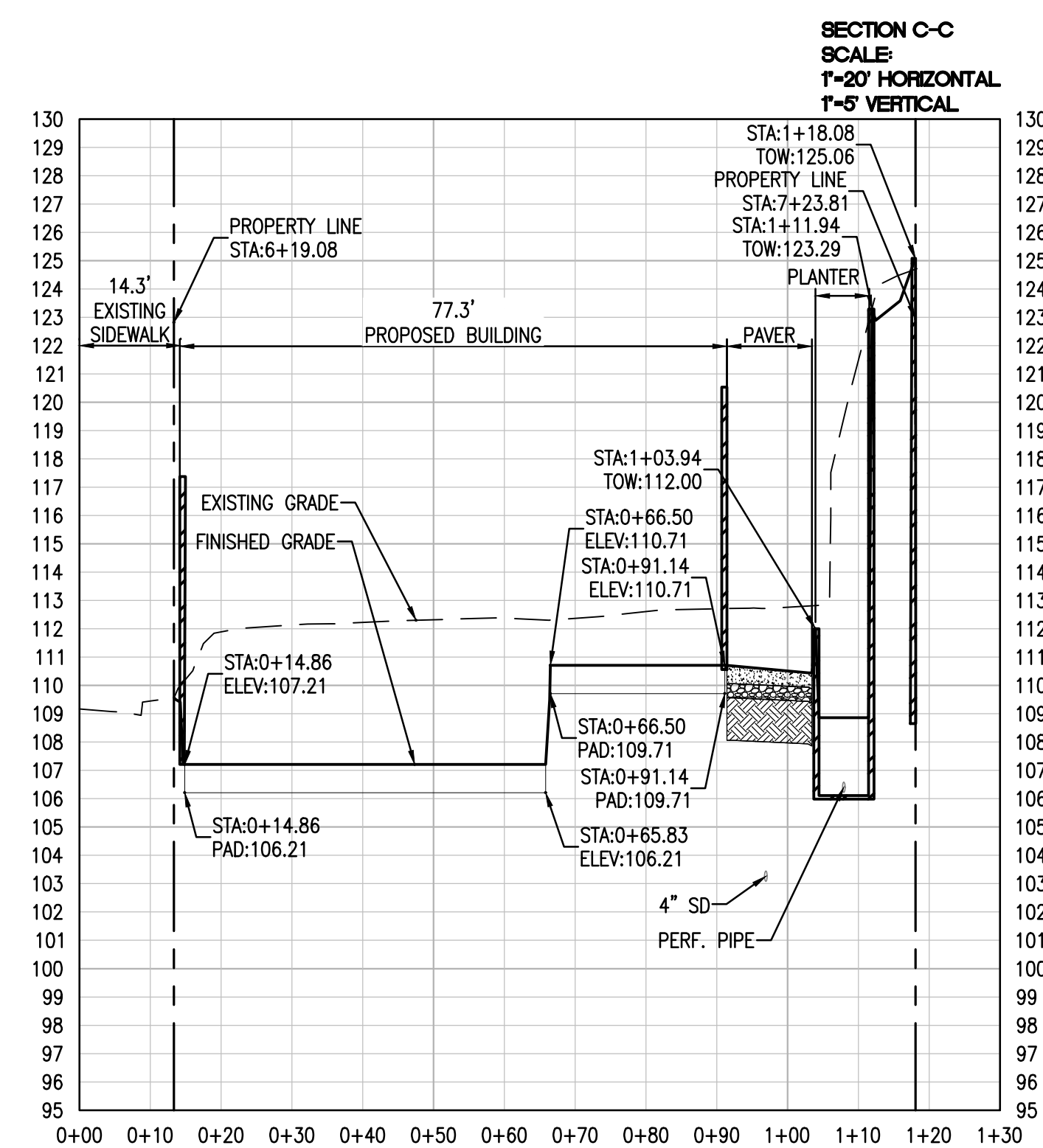
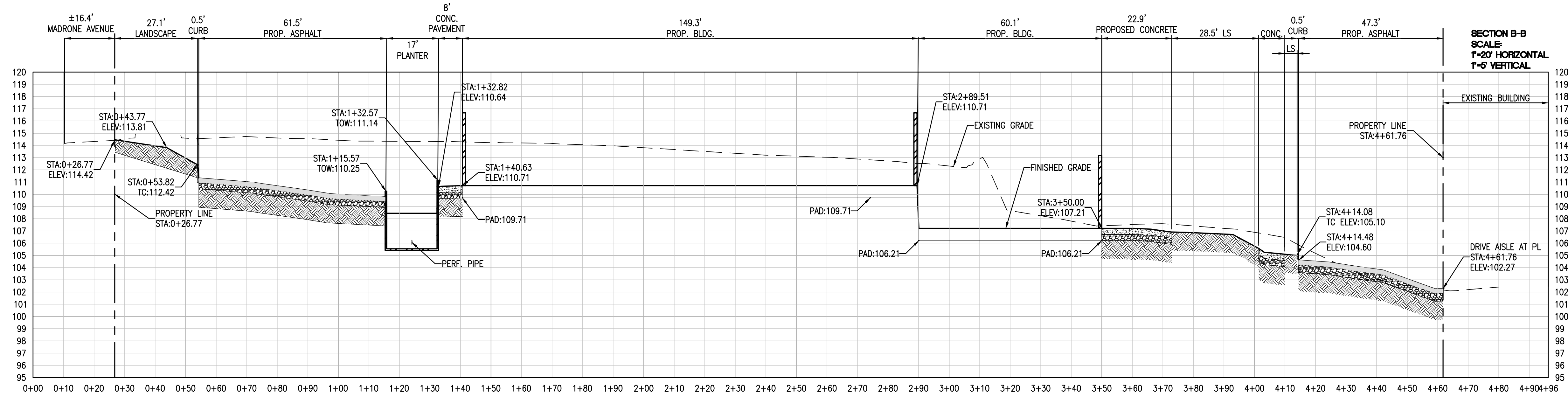
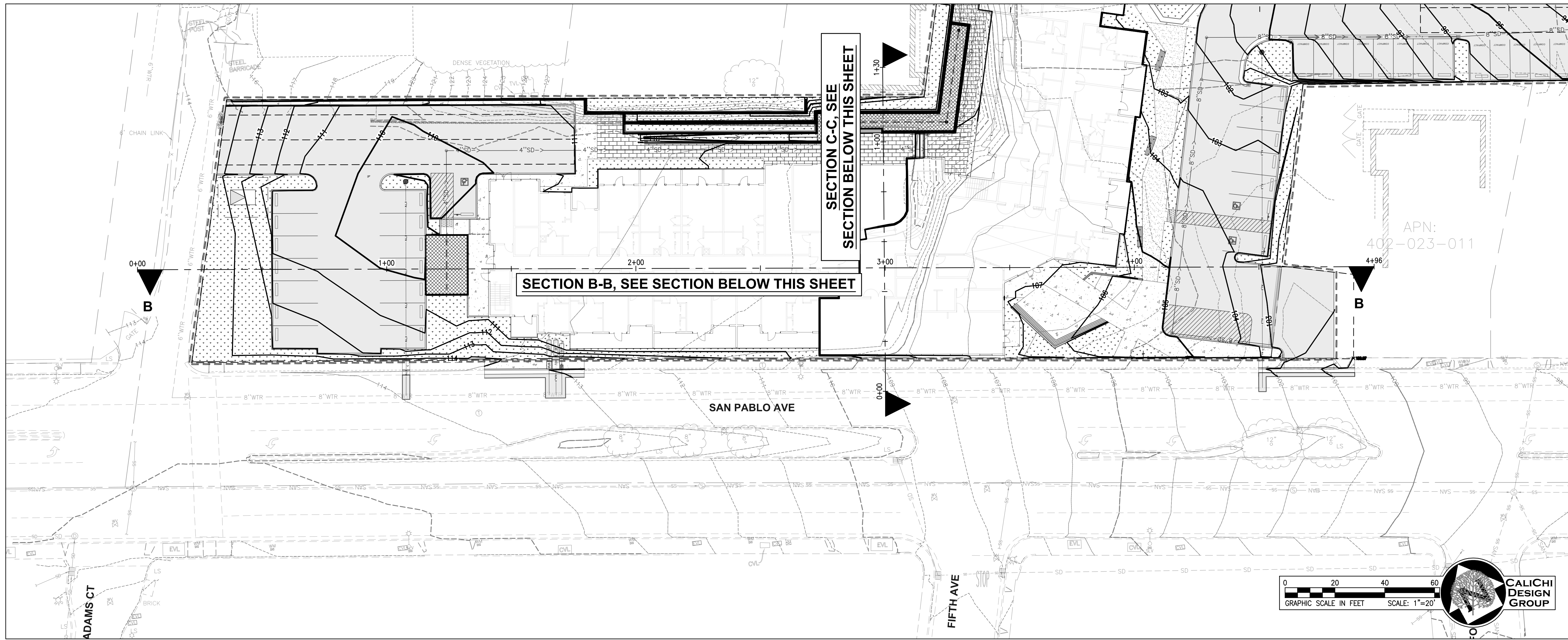
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Reco Vicente  
2021/06/18





CALICHI DESIGN GROUP  
3240 PERALTA STREET, #3  
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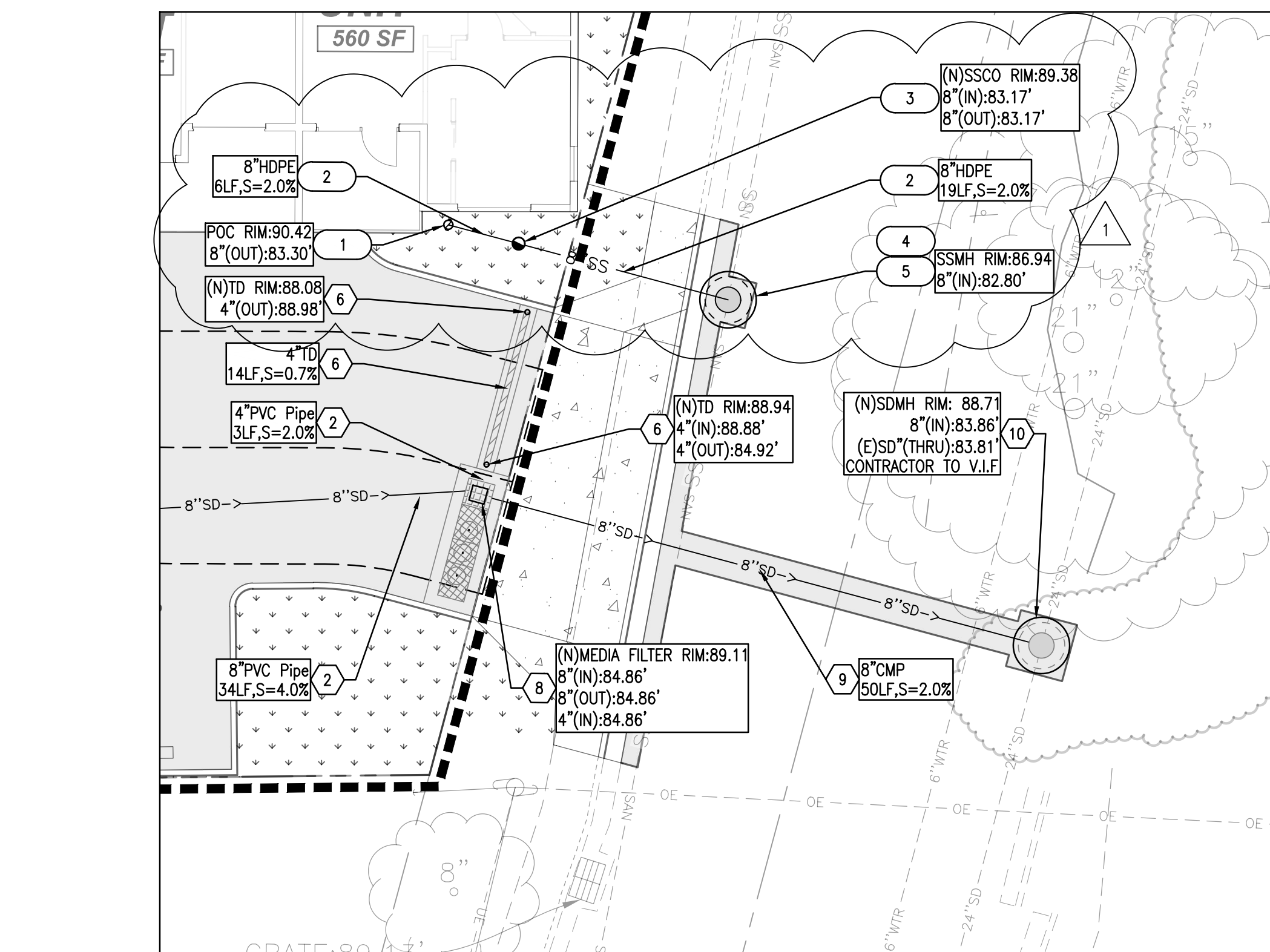
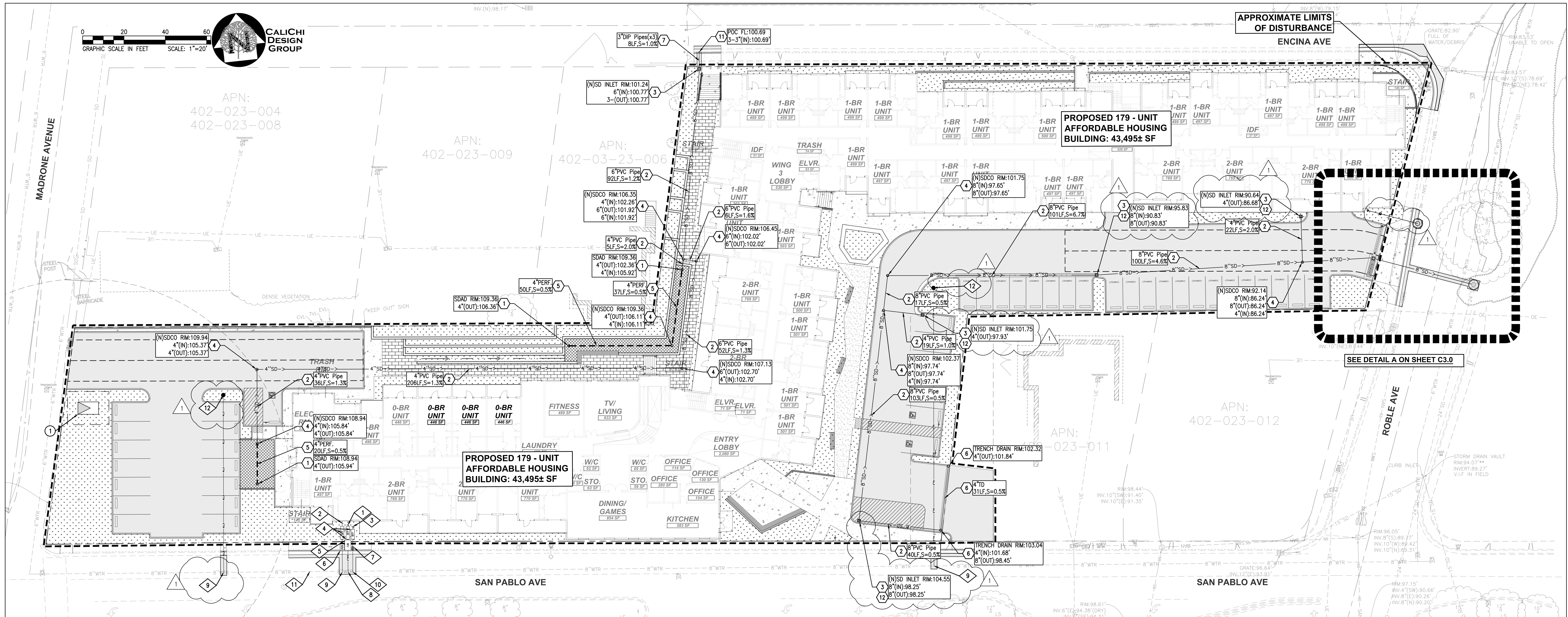
Reco Vicente  
2021/06/18

VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
Pinole, CA, 94564

SITE CROSS SECTIONS  
DATE: 06/16/2021 ISSUE: PLANNING RESUBMITTAL  
DEVELOPMENT APPLICATION

DRAWN BY: KL  
JOB NO.: 2021-350-001  
SCALE: AS SHOWN





**DETAIL A**  
SCALE: 1" = 5'

**STORM DRAIN KEY NOTES**

- 1 PROPOSED FLOW-THROUGH PLANTER OVERFLOW STRUCTURE. RIM AND INVERT PER PLAN.
  - 2 PROPOSED PVC STORM DRAIN PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
  - 3 PROPOSED HARDSAPCE AREA DRAIN INLET. RIM AND INVERT PER PLAN.
  - 4 PROPOSED STORM DRAIN CLEAN-OUT. RIM AND INVERT PER PLAN.
  - 5 PROPOSED 4" PVC PERFORATED PIPE UNDERDRAIN. LENGTH AND SLOPE PER PLAN.
  - 6 PROPOSED ZURN 2886 HD OR APPROVED EQUIVALENT TRENCH DRAIN. RIM, SLOPE, AND INVERT PER PLAN.
  - 7 PROPOSED 3" DUCTILE IRON PIPE STORM DRAIN PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
  - 8 PROPOSED PRE-CAST CONTECH CATCHBASIN STORMFILTER WITH 3-27" PHOSPHORBR CARTRIDGE FILTERS OPENING AT 0.028 CFS EACH WITH A TOTAL CAPACITY OF 0.112 CFS.
  - 9 PROPOSED CMP STORM DRAIN PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
  - 10 PROPOSED STORM DRAIN MANHOLE AS PER STANDARD CITY DETAIL.
  - 11 CONNECT PROPOSED STORM DRAIN TO ENCINA AVENUE SIDEWALK UNDER DRAIN. RIM, INVERT, AND PIPE SIZE PER PLAN.
  - 12 INSTALL ENVIROPOD "LITTLETRAP" TRASH CAPTURE DEVICE UNDER PROPOSED CATCH BASIN.
- NOTE: FOR ALL WORK OUTSIDE THE LIMITS OF DISTURBANCE SEE OFF-SITE PLANS FOR DETAILS.

**GENERAL NOTES:**

1. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
2. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
3. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE COVERED BY LOCAL CODES.
4. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
6. ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

**UTILITY NOTES:**

1. EXISTING OFF-SITE UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON RECORD DRAWINGS OR AS-BUILT INFORMATION.
2. LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED AND ARE SHOWN BASED ON LOCATIONS OF EXISTING VISIBLE UTILITY STRUCTURES SURVEYED IN THE FIELD. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
3. UNLESS NOTED OTHERWISE, ALL RAIN WATER LEADERS TO SPLASH ONTO PAVED SURFACES. IF RAINWATER LEADER TERMINATES IN A LANDSCAPE AREA, CONTRACTOR TO INSTALL SPLASH BLOCK OR APPROVED EQUIVALENT.
4. JOINT TRENCH, ELECTRICAL, DATA, AND GAS ARE SHOWN FOR REFERENCE ONLY. SEE PLANS BY EACH UTILITY COMPANY SERVICE PROVIDER AND ELECTRICAL PLANS FOR DETAILS. DRY UTILITIES ARE MEASURED 2'± FROM PROPOSED BUILDING WALL UNLESS OTHERWISE NOTED. UNLESS NOTED OTHERWISE, ALL STORM DRAIN, WATER, FIRE, AND SANITARY SEWER ARE MEASURED FROM A POINT 5'± FROM PROPOSED BUILDING WALL.

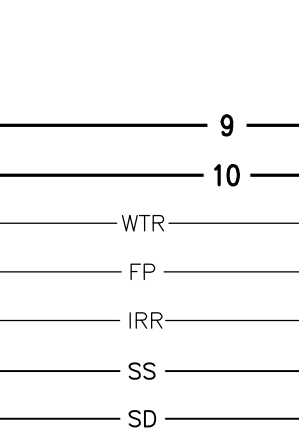
**SANITARY SEWER KEY NOTES**

- 1 POINT OF CONNECTION FOR PROPOSED SANITARY SEWER. SEE PLUMBING PLANS FOR CONTINUATION.
  - 2 PROPOSED HDPE SANITARY SEWER SERVICE PIPE SIZE, LENGTH AND SLOPE PER PLAN.
  - 3 PROPOSED SANITARY SEWER CLEANOUT. RIM AND INVERT PER PLAN.
  - 4 PROPOSED SANITARY SEWER MANHOLE AS PER STANDARD CITY DETAIL.
  - 5 CONNECT PROPOSED SANITARY SEWER SERVICE TO EXISTING SANITARY SEWER LINE. SIZE AND INVERT PER PLAN.
- NOTE: FOR ALL WORK OUTSIDE OF THE LIMITS OF DISTURBANCE SEE OFF-SITE PLANS FOR DETAILS.

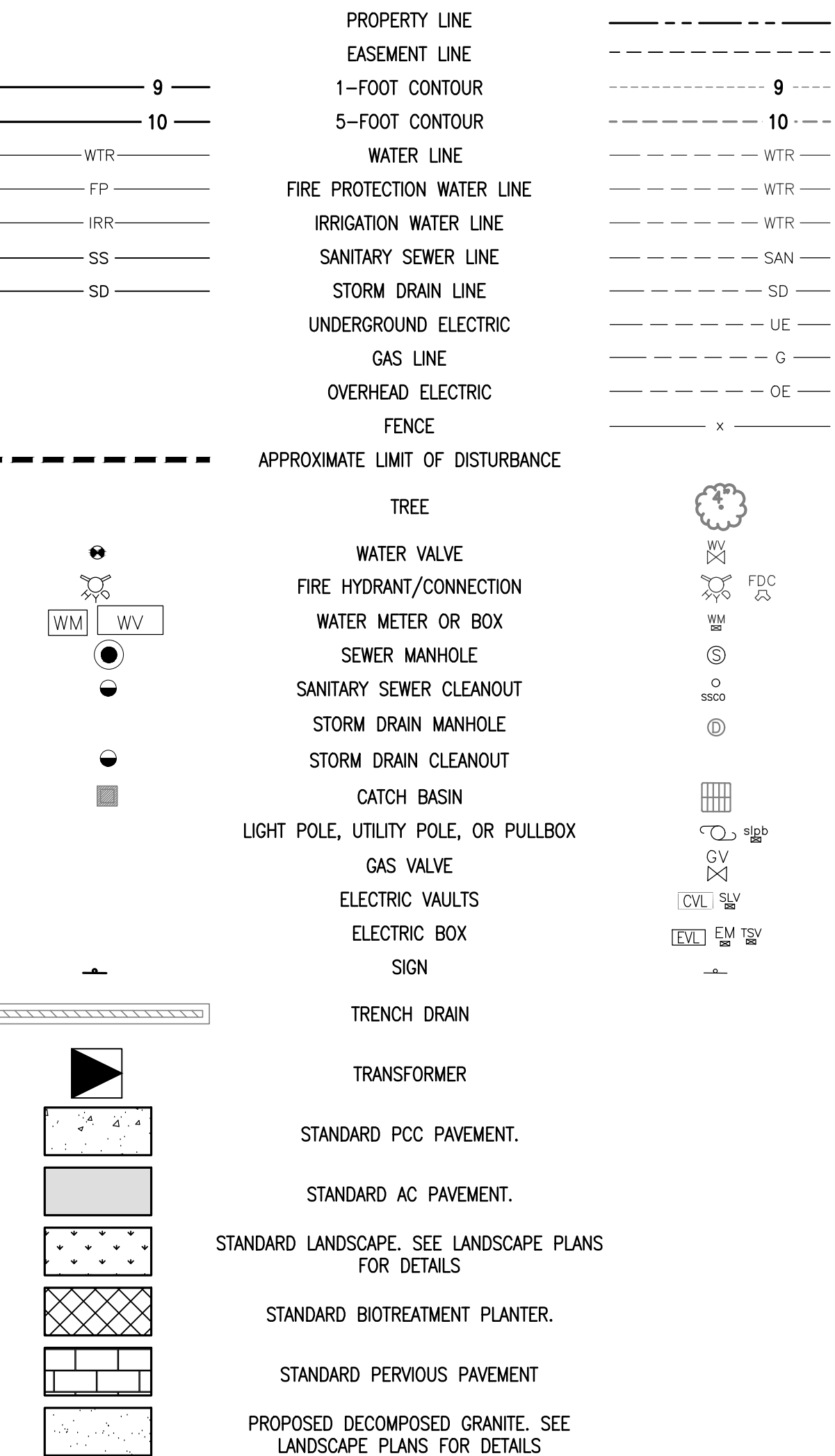
**WATER KEY NOTES**

- 1 CONNECT PROPOSED 4" DOMESTIC WATER SERVICE TO BUILDING SERVICE STUB. SEE ONSITE PLUMBING PLANS FOR CONTINUATION.
  - 2 POINT OF CONNECTION FOR PROPOSED 6" FIRE WATER SERVICE. SEE ONSITE PLUMBING PLANS FOR FIRE DEPARTMENT CONNECTION.
  - 3 CONNECT PROPOSED 1" IRRIGATION WATER SERVICE TO BUILDING SERVICE STUB. SEE ONSITE PLUMBING PLANS FOR CONTINUATION.
  - 4 PROPOSED ABOVE GROUND, LEAD FREE, EBMUD APPROVED BACKFLOW PREVENTION ASSEMBLY (BFP). FEBCO LF850 (UP TO 2") OR APPROVED EQUIVALENT PER EBMUD STANDARD DRAWINGS 1931-A-1. EXACT LOCATION BFP TO BE COORDINATED WITH EBMUD.
  - 5 PROPOSED WATER METER BOX PER EBMUD STANDARD DRAWING 3684-B.
  - 6 PROPOSED DETECTOR CHECK METER BOX PER EBMUD STANDARD DRAWING 3684-B AND 314-EA.
  - 7 PROPOSED IRRIGATION WATER METER BOX PER EBMUD STANDARD DRAWING 186-EA & 291-EA.
  - 8 CONNECT 4" DOMESTIC WATER SERVICE TO EXISTING WATER MAIN PER EBMUD STANDARD DRAWING 3684-B. SIZE AND LENGTH PER PLAN. TRENCH AND BACKFILL PER EBMUD STANDARD DRAWING 1992-A.
  - 9 CONNECT 6" FIRE SERVICE TO EXISTING WATER MAIN PER EBMUD STANDARD DRAWING 3684-B. TRENCH AND BACKFILL PER EBMUD STANDARD DRAWING 1992-A.
  - 10 CONNECT 1" IRRIGATION WATER SERVICE TO EXISTING WATER MAIN PER EBMUD STANDARD DRAWING 3684-B. SIZE AND LENGTH PER PLAN. TRENCH AND BACKFILL PER EBMUD STANDARD DRAWING 1992-A.
  - 11 CONTRACTOR TO PROTECT EXISTING WATERLINE TO REMAIN.
  - 12 PROPOSED FIRE HYDRANT PER EBMUD STANDARD DRAWING 9496-CB.
- NOTE: EBMUD TO PERFORM ALL WATER LINE CONSTRUCTION IN THE PUBLIC ROW, UNLESS OTHERWISE NOTED.

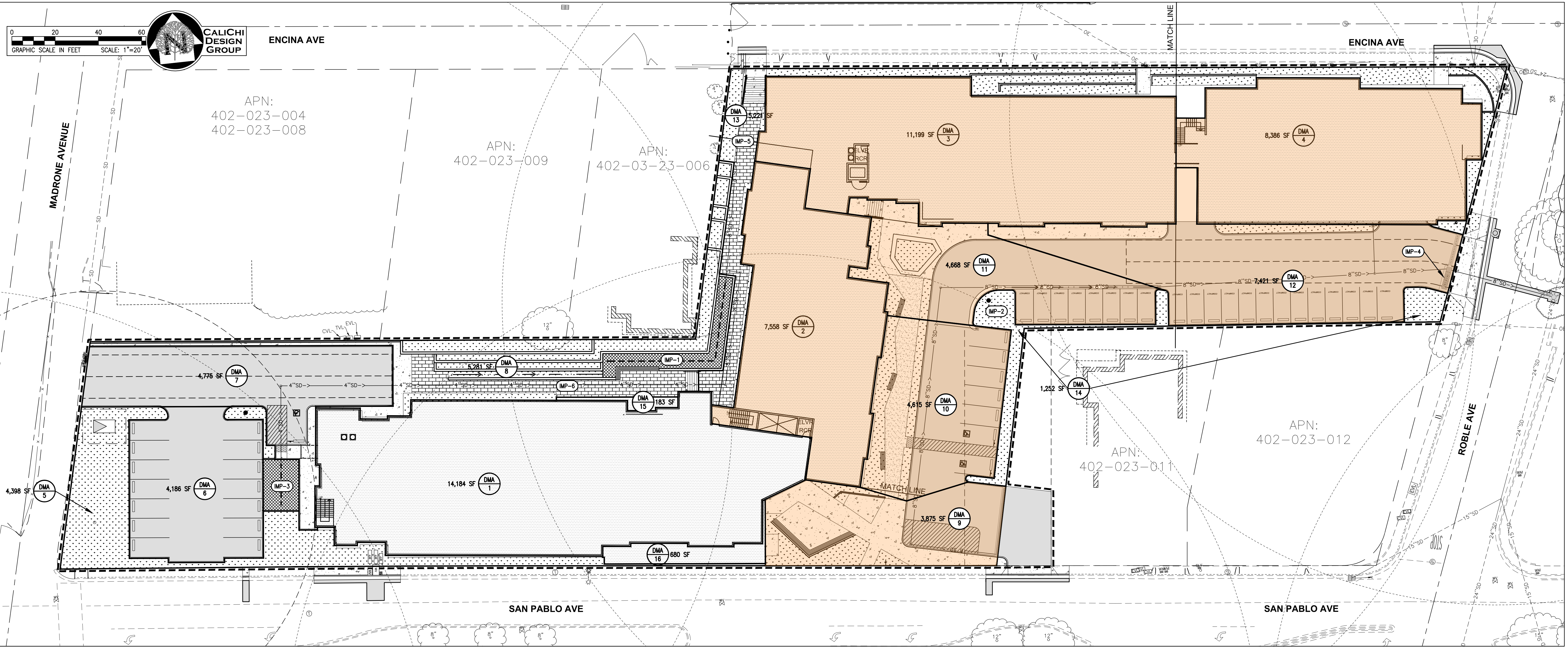
**PROPOSED**



**LEGEND**

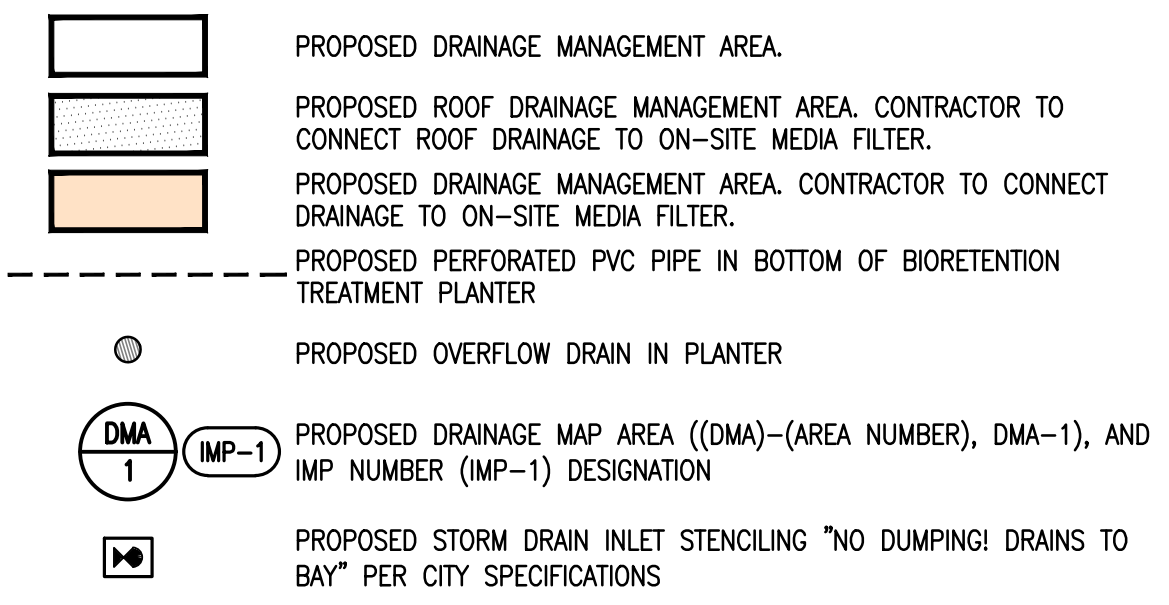




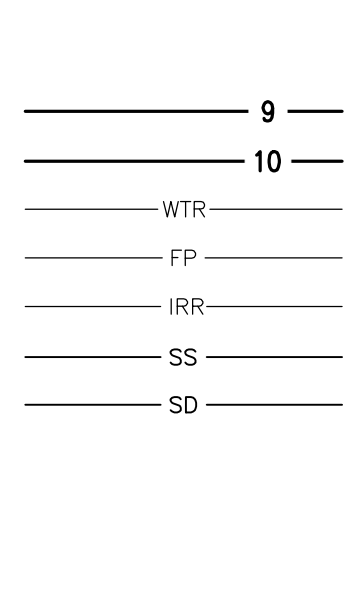


SITE DRAINAGE AREAS AND BMP'S						
BMP	AREA	BMP TYPE	TOTAL DRAINAGE AREA [SF]	IMPERVIOUS AREA [SF] PERCENT (%)	BMP TREATMENT AREA REQUIRED [SF]	BMP PONDING DEPTH [IN]
IMP 1	DMA-1	** TREATMENT CONTROL (BIO-TREATMENT AREA) (FLOW AND VOLUME APPROACH)	15047	15047 100.0%	602	621
IMP 2	DMA-14	** TREATMENT CONTROL (SELF-RETAINING LANDSCAPING)	1252	0 0.0%	1252	2504
IMP 3	DMA-5 + DMA-6 + DMA-7	** TREATMENT CONTROL (BIO-TREATMENT AREA) (FLOW AND VOLUME APPROACH)	13359	9072 67.9%	380	388
IMP 4	DMA-2 + DMA-3 + DMA-4 + DMA-9 + DMA-10 + DMA-11 + DMA-12	*** TREATMENT CONTROL (MEDIA FILTER) (PRE-CAST CATCHBASIN STORMFILTER WITH 3-27" PHOSPHORIB CARTRIDGE FILTERS OPERATING AT 0.028 CFS EACH WITH A TOTAL CAPACITY OF 0.112 CFS)	47722	45187 94.7%	45187	50242
IMP 5	DMA-13	* TREATMENT CONTROL (SELF-RETAINING LANDSCAPING)	5221	1086 20.8%	4135	8270

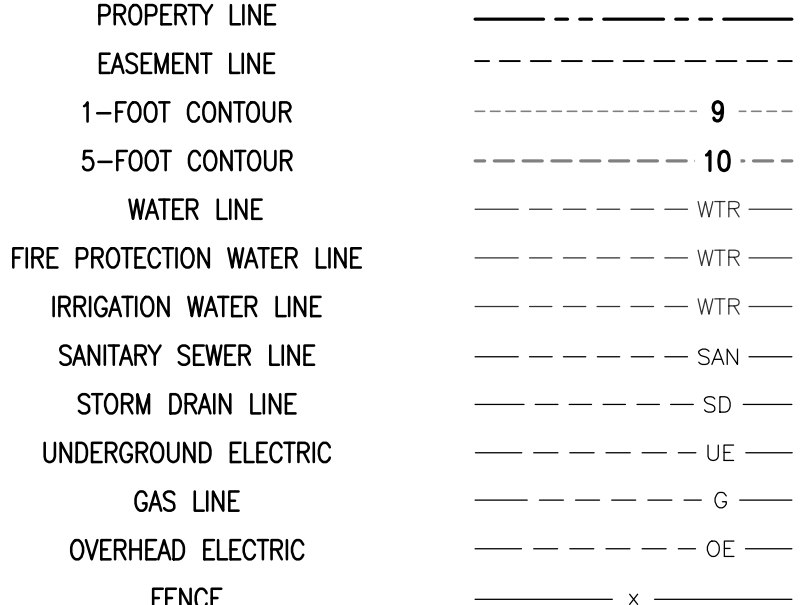
**STORMWATER CONTROL LEGEND**



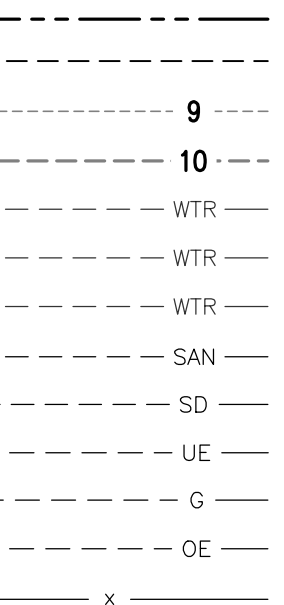
**PROPOSED**



**LEGEND**



**EXISTING**



**INSPECTION AND MAINTENANCE**

RESPONSIBLE PARTY FOR BMP MAINTENANCE: TBD

**STORMWATER NOTE:**

- THIS PROJECT IS A CATEGORY "C" SPECIAL PROJECT AND IS DETERMINED TO HAVE A 70% LID TREATMENT REDUCTION CREDIT FOR THE FOLLOWING:
  - THE PROJECT WILL PROVIDE A PROPOSED TRANSIT HUB WITH A SHELTER AND ELECTRONIC ROUTE MESSAGING (SUPPORTING SERVICES) IN COORDINATION WITH WESTCAT LOCATED AT LEAST A 1/4 MILE OR LESS AWAY FROM THE PROPOSED PROJECT SITE FOR A 50% TREATMENT REDUCTION CREDIT. SEE ARCHITECTURAL PLANS FOR LOCATION OF BUS SHELTER.
  - THE DWELLING UNITS PER ACRE GREATER THAN 60 UNITS PER ACRE FOR A 20% CREDIT
  - THE MAXIMUM IMPERVIOUS SURFACE AREA ALLOWED TO BE TREATED WITH NON-LID TREATMENT MEASURE IS 51,304 SF. AS AN OPTION FOR A DEFINED CATEGORY "C" SPECIAL PROJECT A PROPOSED CONTECH MEDIA FILTER WILL BE USED. MEDIA FILTER SPECIFICATIONS TO BE DETERMINED PRIOR TO CONSTRUCTION DOCUMENT SUBMITTAL.
- PROJECT IS LOCATED IN A TIDAL INFLUENCED AREA THEREFORE IT IS EXEMPT FROM HYDROMODIFICATION.

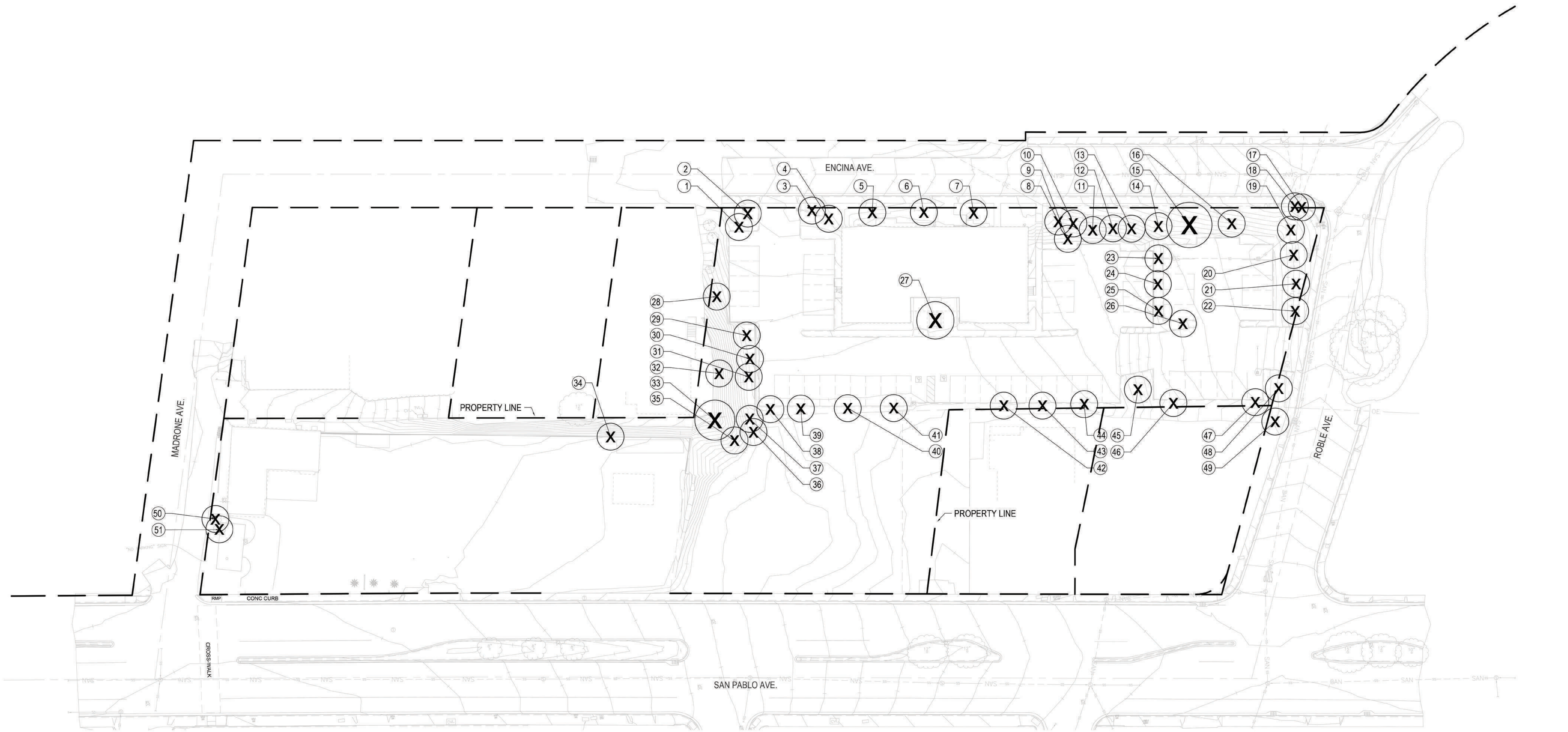
**MEDIA FILTER MAINTENANCE PLAN**

- INITIAL INSPECTION (WITHIN 6-MONTHS OF INSTALLATION) AND BI-ANNUAL INSPECTION (AT LEAST TWICE PER YEAR):**
- REMOVE THE MANHOLE COVERS AND OPEN ALL ACCESS HATCHES.
  - BEFORE ENTERING THE SYSTEM MAKE SURE THE AIR IS SAFE PER OSHA STANDARDS OR USE A BREATHING APPARATUS. USE LOW O2, HIGH CO, OR OTHER APPLICABLE WARNING DEVICES PER REGULATORY REQUIREMENTS.
  - USING A VACUUM TRUCK, REMOVE ANY LIQUID AND SEDIMENTS THAT CAN BE REMOVED PRIOR TO ENTRY.
  - USING A SMALL LIFT OR THE BOOM OF THE VACUUM TRUCK, REMOVE THE USED CARTRIDGES BY LIFTING THEM OUT.
  - ANY CARTRIDGES THAT CANNOT BE READILY LIFTED CAN BE EASILY SLID ALONG THE FLOOR TO A LOCATION THEY CAN BE LIFTED VIA A BOOM LIFT.
  - WHEN ALL THE CARTRIDGES HAVE BEEN REMOVED, IT IS NOW PRACTICAL TO REMOVE THE BALANCE OF THE SOLIDS AND WATER. LOOSEN THE STAINLESS CLAMPS ON THE FERROD COUPLINGS FOR THE MANIFOLD AND REMOVE THE DRAINPIPPES AS WELL. CAREFULLY CAP THE MANIFOLD AND THE FERROD'S COUPLINGS AND RINSE THE FLOOR, WASHING AWAY THE BALANCE OF ANY REMAINING COLLECTED SOLIDS.
  - CLEAN THE MANIFOLD PIPES, INSPECT, AND REINSTALL.
  - INSTALL THE EXCHANGE CARTRIDGES AND CLOSE ALL COVERS.
  - THE USED CARTRIDGES MUST BE SENT BACK TO BAYSAYER TECHNOLOGIES FOR EXCHANGE/RECYCLING AND CREDIT ON UNDMAGED UNITS.
- PERIODIC INSPECTIONS (DURING WET SEASON AND AFTER LARGE RAIN EVENTS):**
- DURING THE WET SEASON, INSPECT PERIODICALLY FOR STANDING WATER, SEDIMENT, TRASH AND DEBRIS, AND TO IDENTIFY POTENTIAL PROBLEMS.
  - REMOVE ACCUMULATED TRASH AND DEBRIS IN THE SEDIMENTATION BASIN, FROM THE RISER PIPE, AND THE FILTER BED DURING ROUTINE INSPECTIONS.
  - INSPECT THE MEDIA FILTER ONCE DURING THE WET SEASON AFTER A LARGE RAIN EVENT TO DETERMINE WHETHER THE FACILITY IS DRAINING COMPLETELY WITHIN FIVE DAYS.
  - IF THE FACILITY DRAIN TIME EXCEEDS FIVE DAYS, REMOVE THE TOP 50 MILLIMETERS (2 INCHES) OF SAND AND DISPOSE OF SEDIMENT. RESTORE MEDIA DEPTH TO 450 MILLIMETERS (18 INCHES) WHEN OVERALL MEDIA DEPTH DROPS TO 300 MILLIMETERS (12 INCHES).

**ON-SITE FLOW-THROUGH PLANTER MAINTENANCE PLAN**

- ROUTINE MAINTENANCE (MONTHLY INSPECTIONS, OR AS NEEDED AFTER STORM EVENTS):**
- INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR AND OBSTRUCTIONS AND REMOVE TRASH, FALLEN LEAVES, AND DEBRIS.
  - INSPECT PLANTER BOX AFTER STORMS TO ENSURE STRUCTURAL INTEGRITY OF THE BOX AND THAT THE PLANTER IS NOT CLOGGING, AND IS DRAINING WITHIN 3-4 HOURS AFTER STORM IF PONDING WATER DOES NOT DRAIN, THE SURFACE SOLIDS SHOULD BE TILLED OR REPLACED AND REPLANTED AS NECESSARY. IF MOSQUITO LARVAE ARE OBSERVED, CONTACT THE COUNTY VECTOR CONTROL DISTRICT AT (510) 567-6800.
  - INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH AND REMOVE ANY ACCUMULATION OF SEDIMENT.
  - CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY.
- BI-ANNUAL INSPECTION (AT LEAST TWICE A YEAR):**
- PRUNE AND WEED THE PLANTER AREA.
  - REMOVE AND REPLACE ANY DEAD OR DYING PLANTS.
  - TREAT DISEASED PLANTS, AS NEEDED, USING PREVENTATIVE AND LOW-TOXIC MEASURES TO THE EXTENT POSSIBLE.
  - AVOID THE USE OF PESTICIDES AND QUICK-RELEASE SYNTHETIC FERTILIZERS AND FOLLOW THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). CHECK WITH THE LOCAL JURISDICTION FOR ANY LOCAL POLICIES REGARDING THE USE OF PESTICIDES AND FERTILIZERS.
  - MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).
- ANNUAL INSPECTION (JUST PRIOR TO THE WET SEASON):**
- APPLY 1" TO 2" OF COMPOSED MULCH TO BE APPLIED ONCE A YEAR AND WHEN EROSION IS EVIDENT; SPOT MULCHING MAY BE SUFFICIENT FOR RANDOM VOID AREAS.





**TREE REMOVAL PLAN** 1  
▲ N Scale: 1/32" = 1'-0"

NOTES  
1. REFER TO TREE INVENTORY TABLE ON L1.02 FOR INDIVIDUAL TREE DATA.

CONSULTANTS  
NOT FOR CONSTRUCTION  
CONCEPTUAL PLAN ONLY

REVISIONS	ISSUED FOR

KEY PLAN

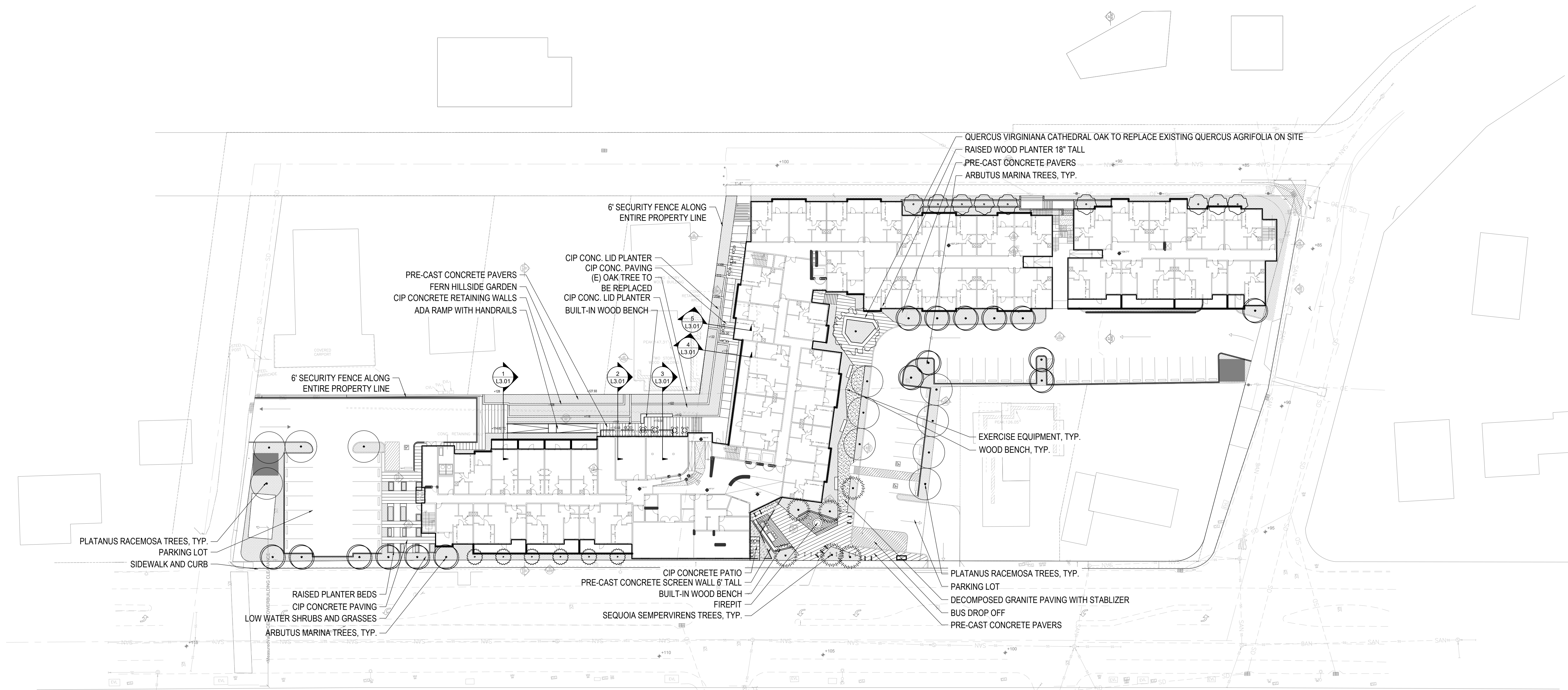
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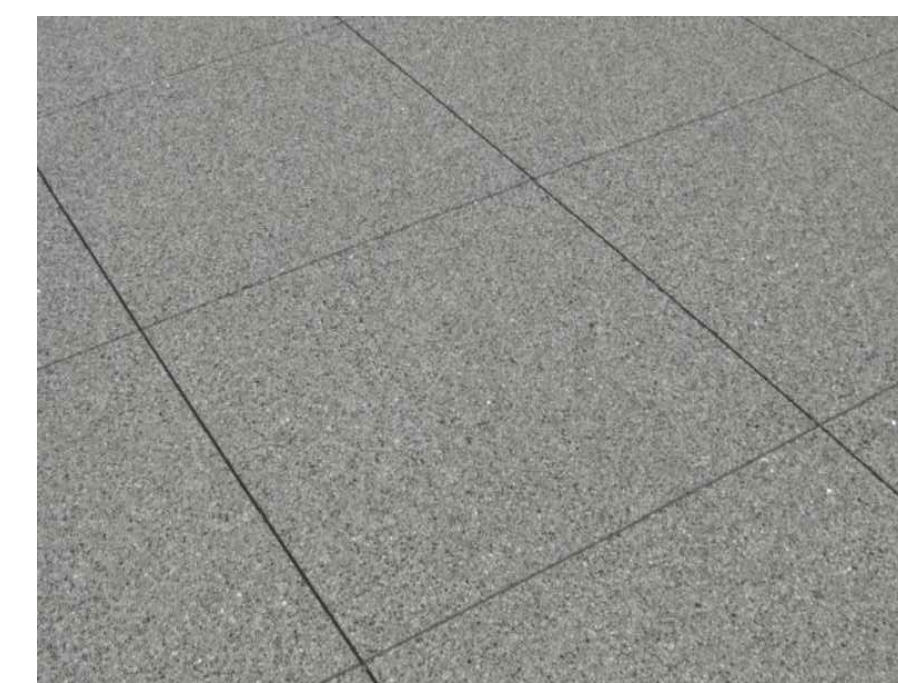
**SITE PLAN 1**  
▲ N Scale: 1/32" = 1'-0"



WOOD DECKING



PRECAST CONCRETE PAVERS



SCORED CONCRETE WITH TOP CAST FINISH

**PROPOSED HARDSCAPE MATERIAL 2**

CONSULTANTS  
ISSUED FOR  
REVISIONS  
KEY PLAN

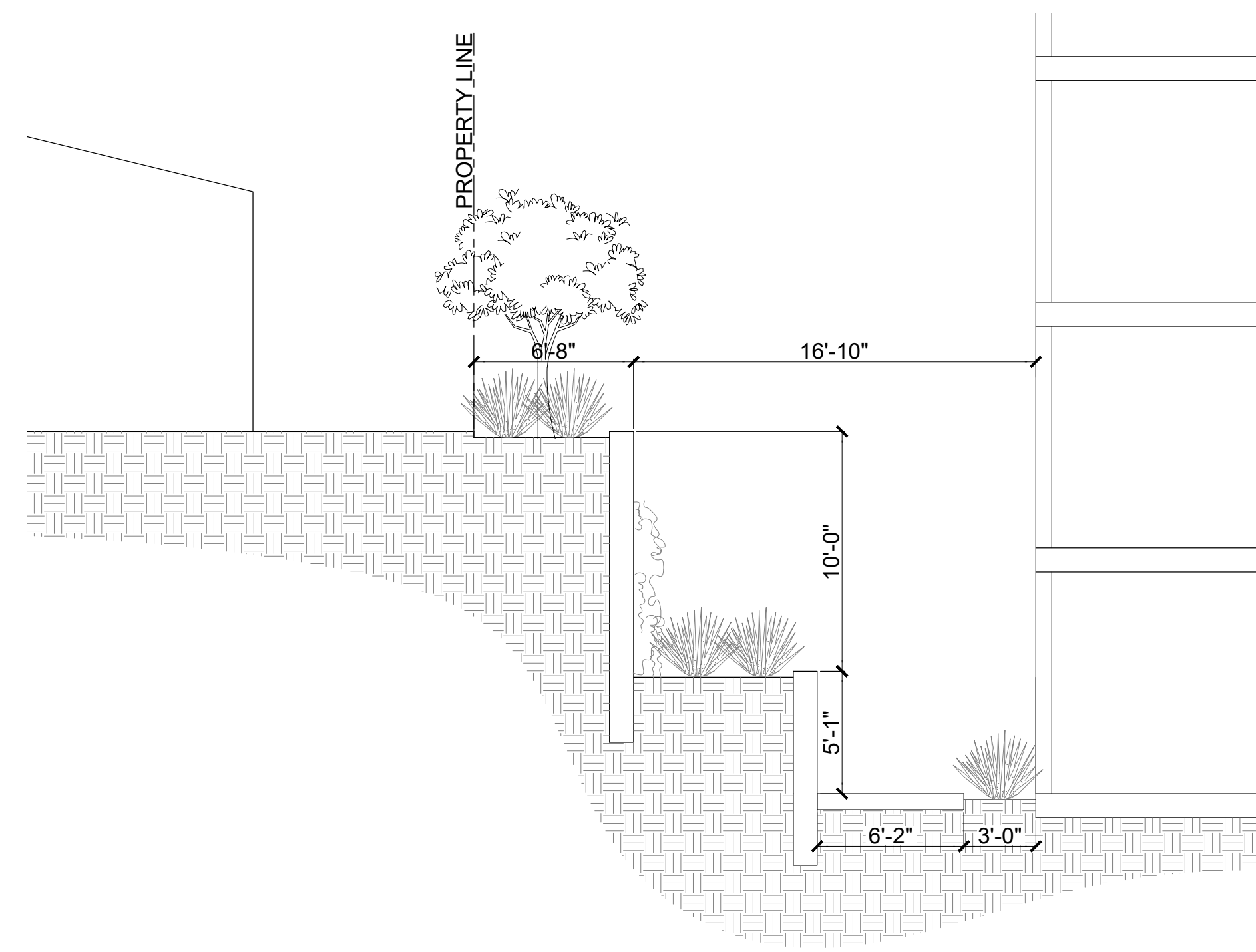
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CONCEPTUAL PLAN ONLY

NOT FOR CONSTRUCTION

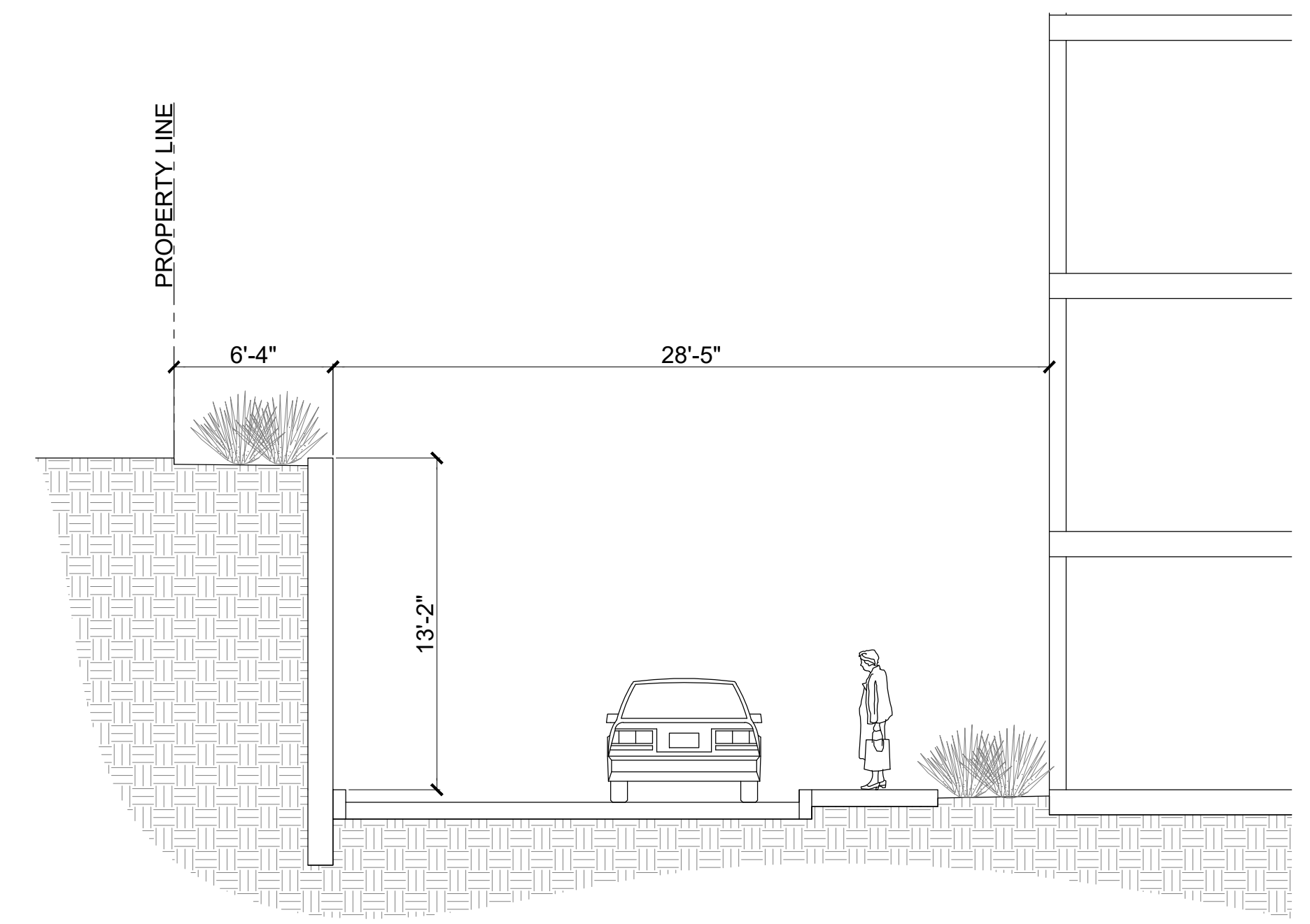
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DATE  
05.16.2021  
SCALE  
1/32" = 1'-0"

**L2.01**

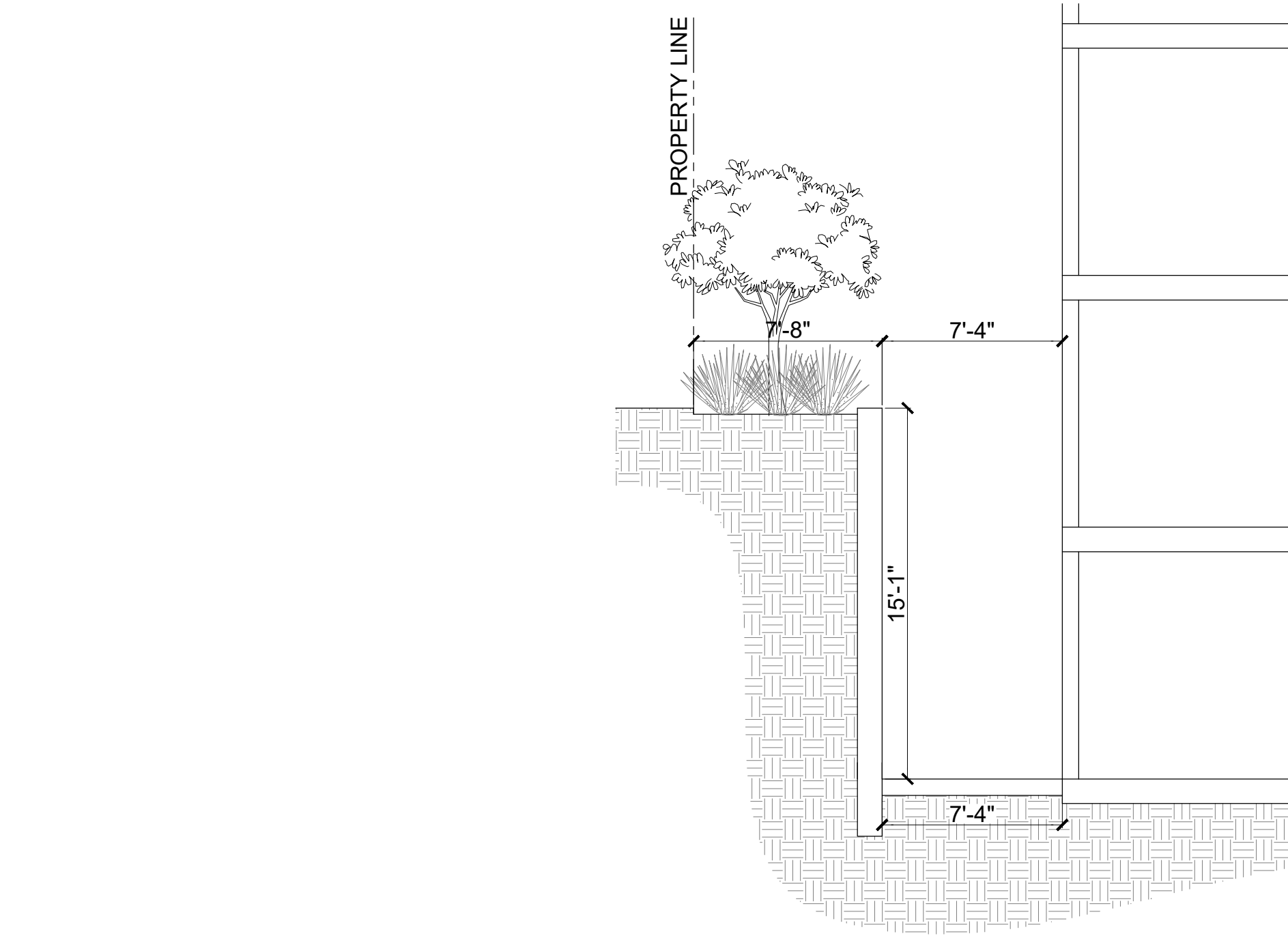




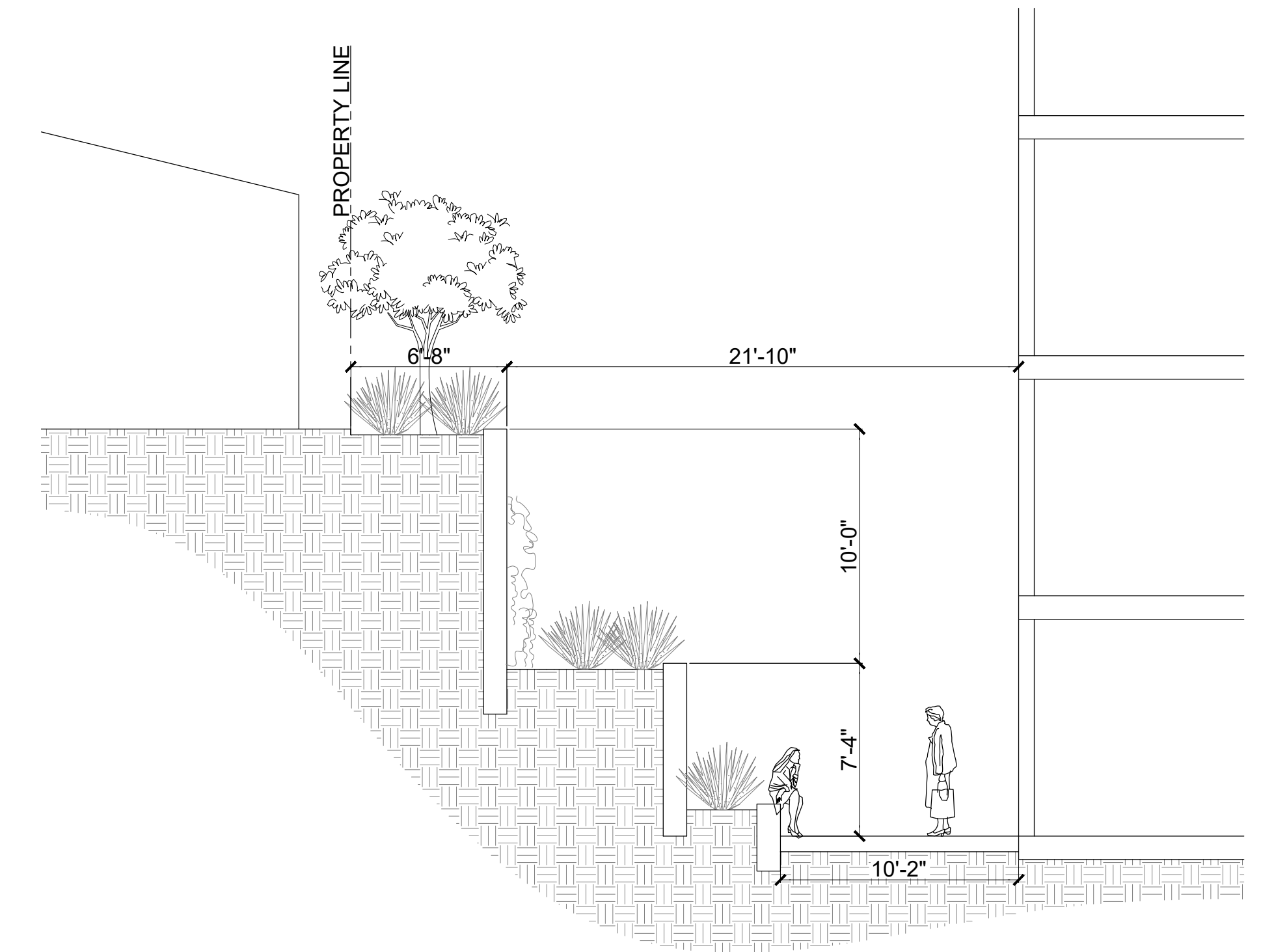
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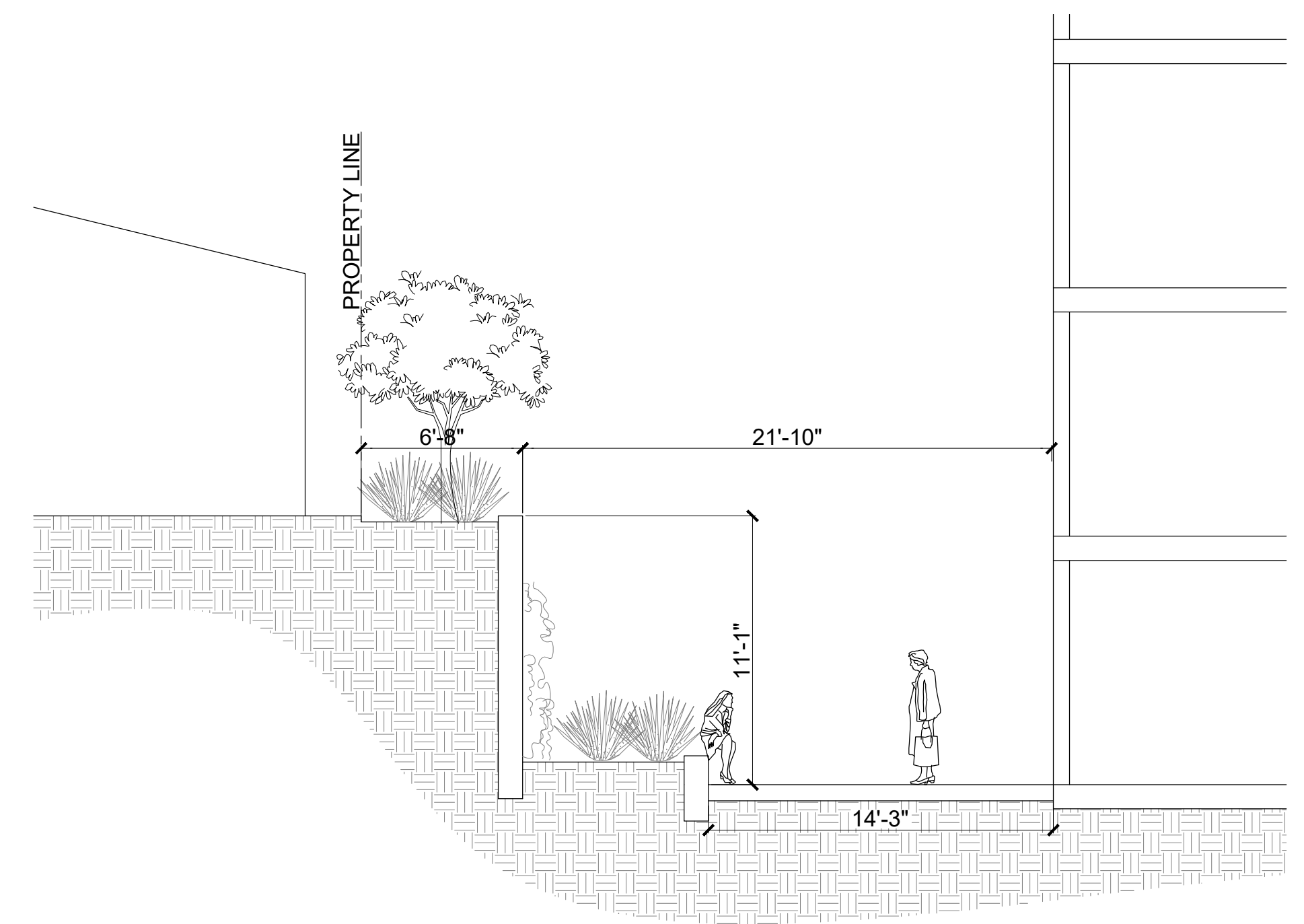
SECTION 1  
Scale: 3/16" = 1'-0"



SECTION 5  
Scale: 3/16" = 1'-0"



SECTION 2  
Scale: 3/16" = 1'-0"



SECTION 3  
Scale: 3/16" = 1'-0"

**NOTES**

1. WALL ELEVATIONS PROVIDED FOR DESIGN INTENT. FINAL WALL ELEVATIONS TO BE DETERMINED BY STRUCTURAL.
2. REFER TO STRUCTURAL DRAWINGS FOR WALL AND FOOTING DETAILS.

CONSULTANTS  
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ISSUED FOR  
REVISIONS

KEY PLAN





NOT FOR CONSTRUCTION

DRAWING TITLE  
SECTIONS

DATE  
06.18.2021  
SCALE  
AS SHOWN

DRAWING NUMBER  
**L3.01**



TREE SCHEDULE							
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	FULL GROWTH	NOTES
	21	ARBUTUS 'MARINA'	MARINA STRAWBERRY TREE	36" BOX	LOW	20-30' TALL, 15-25' WIDE	
	12	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	48" BOX	MODERATE		
	9	SEQUOIA SEMPERVIRENS	COAST REDWOOD	48" BOX	LOW	20'x15'	
	1	QUERCUS VIRGINIANA 'CATHEDRAL'	CATHEDRAL OAK	60" BOX	LOW	20'x15'	

PLANTING SCHEDULE										
SYMBOL	SYMBOL #	QUANTITY	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	EXPOSURE	NOTES
	S-1	174	ADI ALE	ADIANTUM ALEUTICUM	NORTHERN MAIDENHAIR FERN	5 GAL.				
	S-2	14	ARC DEN	ARCTOSTAPHYLOS DENSIFLORA	HOWARD MCMINN MANZANITA	15 GAL.				
	S-3	31	ART CAL	ARTEMESIA CALIFORNICA	CALIFORNIA SAGEBRUSH	5 GAL.				
	S-4	127	CEA WHE	CEANOTHUS 'WHEELER'S CANYON'	WHEELERS CANYON CALIFORNIA LILIA	5 GAL.				
	S-5	294	ERI ARB	ERIGONIUM ARBORESCENS	SANTA CRUZ ISLAND BUCKWHEAT	5 GAL.				
	S-6	4	JUN PAT	JUNCUS PATENS	RUSH	5 GAL.				
	S-7	109	LEY CON	LEYMUS CONDENSTATUS 'CANYON PRINCE'	CANYON PRINCE WILD RHYE	5 GAL.				
	S-8	497	MUH CAP	MUHLENBERGIA CAPILLARIS 'LENCA'	PINK HAIR GRASS	5 GAL.				
	S-9	3	MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL.				
	S-10	320	PEN FAI	PENNISETUM 'FAIRY TAILS'	EVERGREEN FOUNTAIN GRASS	5 GAL.				
	S-11	185	POL MUN	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL.				
	S-12	77	POL SCO	POLYPODIUM SCOULERI	LEATHER LEAF FERN	5 GAL.				
	S-13	426	SAL SOM	SALVIA SOMONENSIS	CREEPING SAGE	5 GAL.	24" O.C.			
	S-14	330	SEN MAN	SENECIO MANDRALISCAE	BLUE CHALKSTICKS	5 GAL.	24" O.C.			
	S-15	103	WOO FIM	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL.				

**LANDSCAPE NOTES**

- TOTAL AMOUNT OF TREES PROPOSED: 24
- TOTAL AMOUNT OF STREET TREES IN PROJECT: 0 TREES
- THE MINIMUM ACCEPTABLE SIZE FOR STREET TREES AND ON-SITE TREES SHALL BE A 36" BOX. NEWLY PLANTED TREES SHALL BE SUPPORTED WITH STAKES OR GUY WIRE.
- SHRUBS SHALL BE A MINIMUM SIZE OF 5 GALLONS. WHEN PLANTING AS A HEDGE OR SCREEN.
- SHRUBS SHALL BE PLANTED WITH 2' TO 4' OF SPACING, DEPENDING ON THE PLANT SPECIES.
- GROUND COVER SHALL BE GENERALLY SPACED AT A MAXIMUM SIZE OF 6" TO 8" O.C. WHEN USED AS GROUND COVER, MINIMUM 1 GALLON SIZED SHRUB MAY BE PLANTED 18" TO 24" O.C.
- USE RECYCLED CONTENT MULCH OR OTHER LANDSCAPE AMENDMENTS.

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KEY PLAN  
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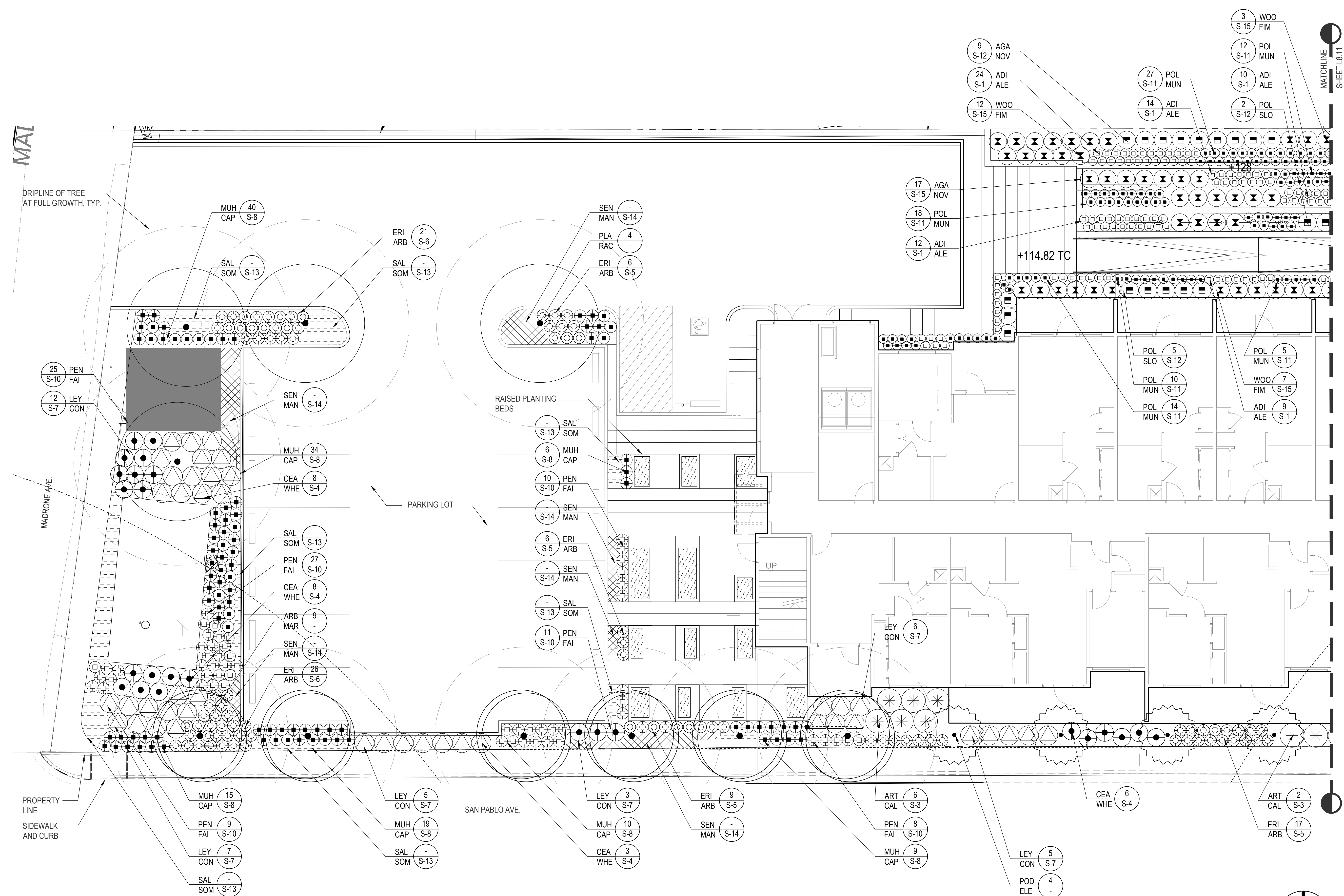
DRAWING TITLE  
PLANT LEGEND

SCALE | DATE

DRAWING NUMBERS

**L8.00**





NOT FOR CONSTRUCTION  
CONCEPTUAL PLAN ONLY

REVISIONS

NO.	DATE	DESCRIPTION

KEY PLAN

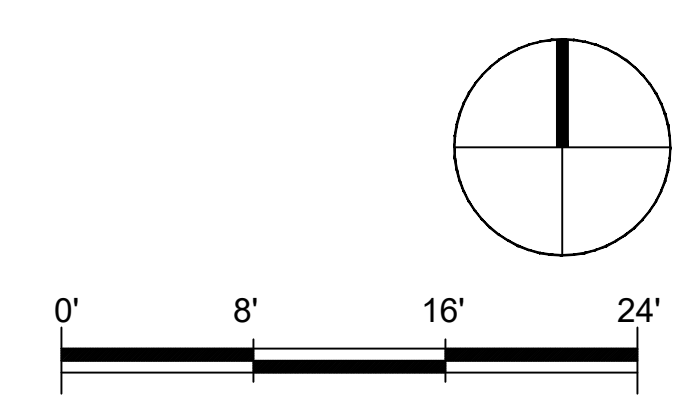
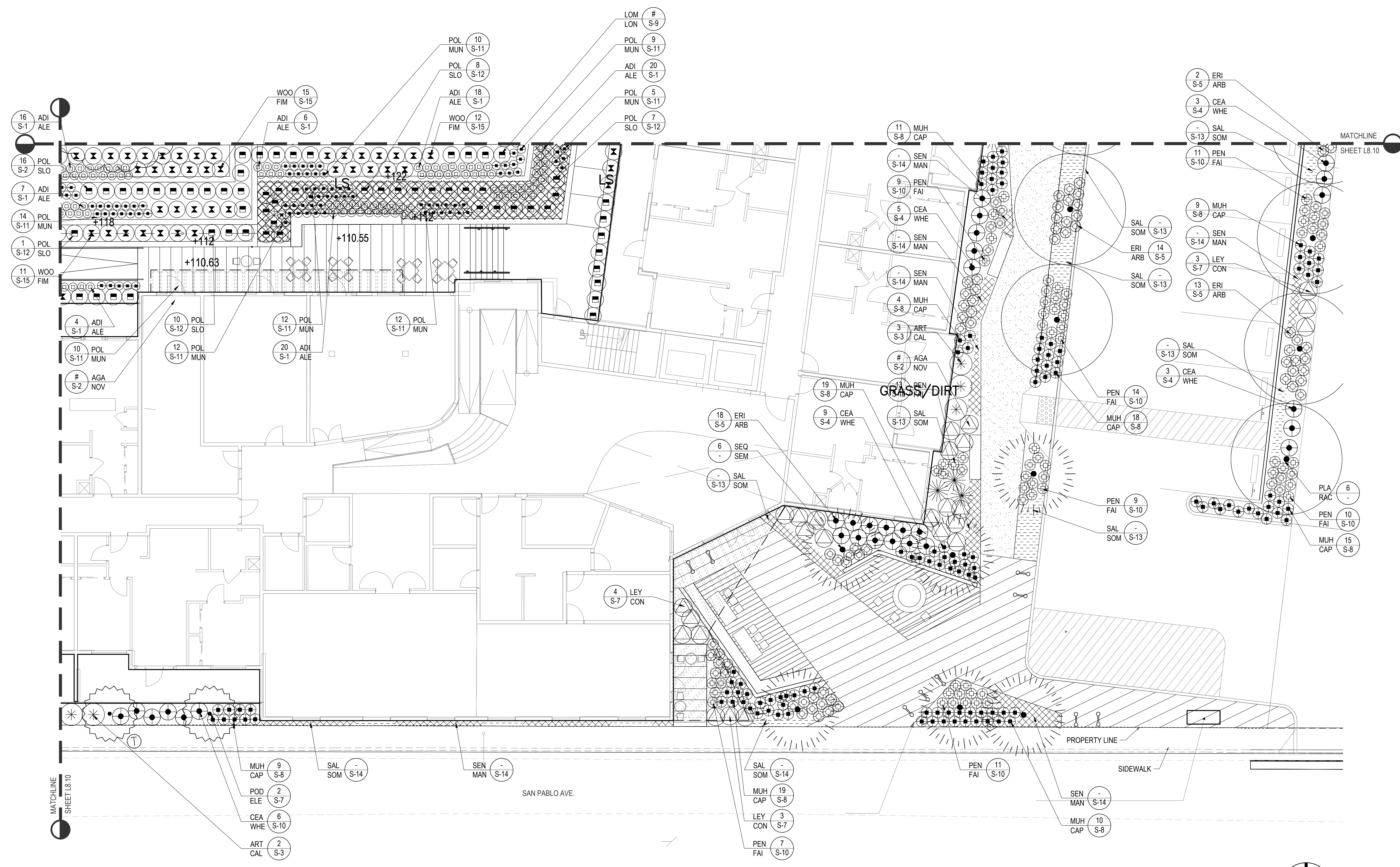
06.07.2021

NOT FOR CONSTRUCTION

DRAWING NUMBER	SCALE	DATE	DRAWING TITLE
L8.10	1/8" = 1'-0"	05.17.2021	PLANTING PLAN

PLANTING PLAN  
Scale: 1/8" = 1'-0"





**PLANTING PLAN**  
Scale: 1/8" = 1'-0"

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REVISIONS ISSUED FOR

NO.	DATE	DESCRIPTION

KEY PLAN

NOT FOR CONSTRUCTION

DRAWING TITLE	DATE	SCALE
<b>PLANTING PLAN</b>	05.16.2021	1/8" = 1'-0"
DRAWING NUMBER		
<b>L8.11</b>		

DATE: 05.16.2021  
SCALE: 1/8" = 1'-0"





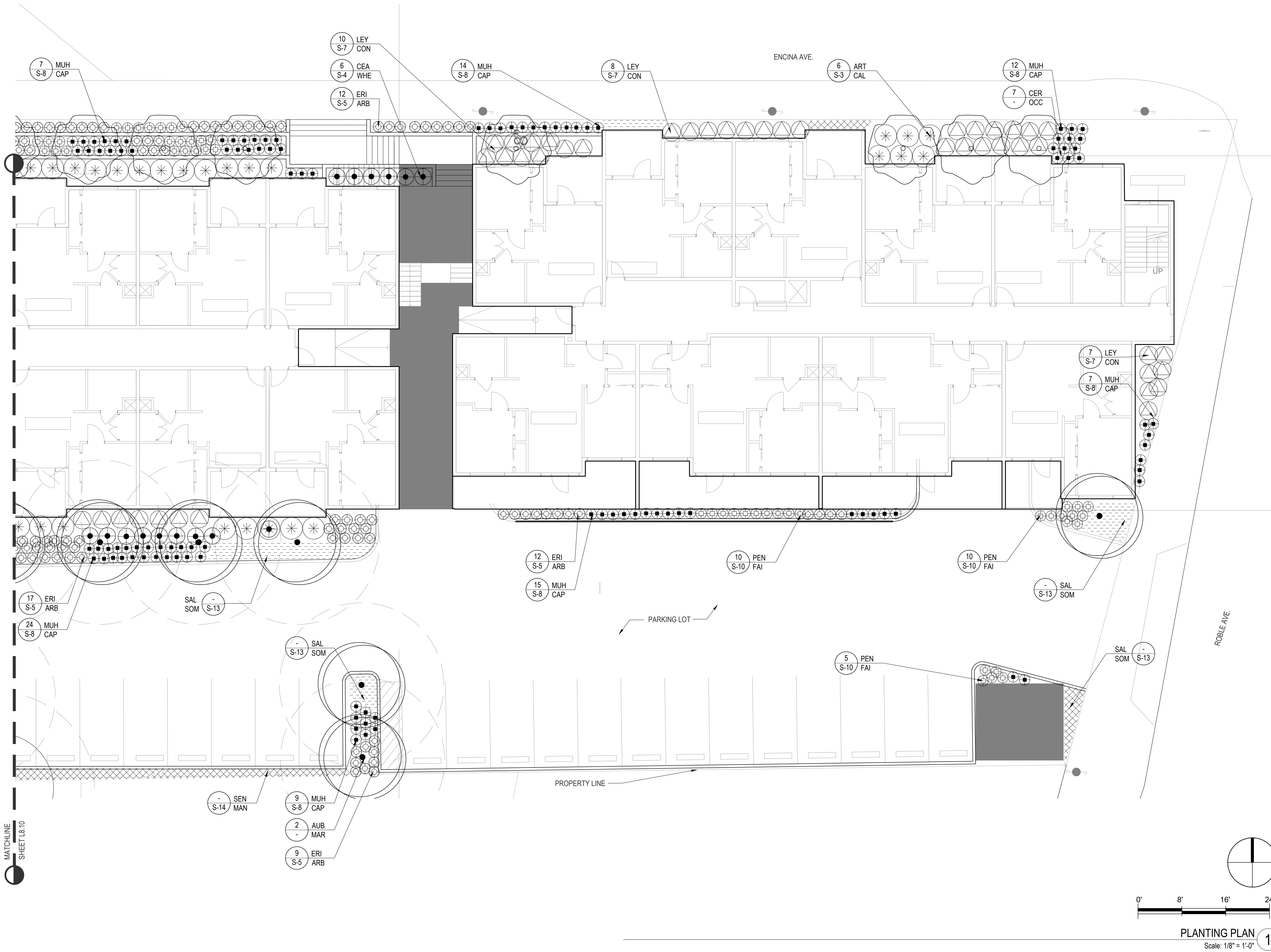
CONSULTANTS  
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CONCEPTUAL PLAN ONLY

REVISIONS  
ISSUED FOR  
ENTITLEMENT SET

KEY PLAN

NOT FOR CONSTRUCTION  
DRAWING TITLE  
**PLANTING PLAN**  
DATE  
05.16.2021  
SCALE  
1/8" = 1'-0"





CONSULTANTS  
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CONCEPTUAL PLAN ONLY

REVISIONS  
ISSUED FOR  
ENTITLEMENT SET

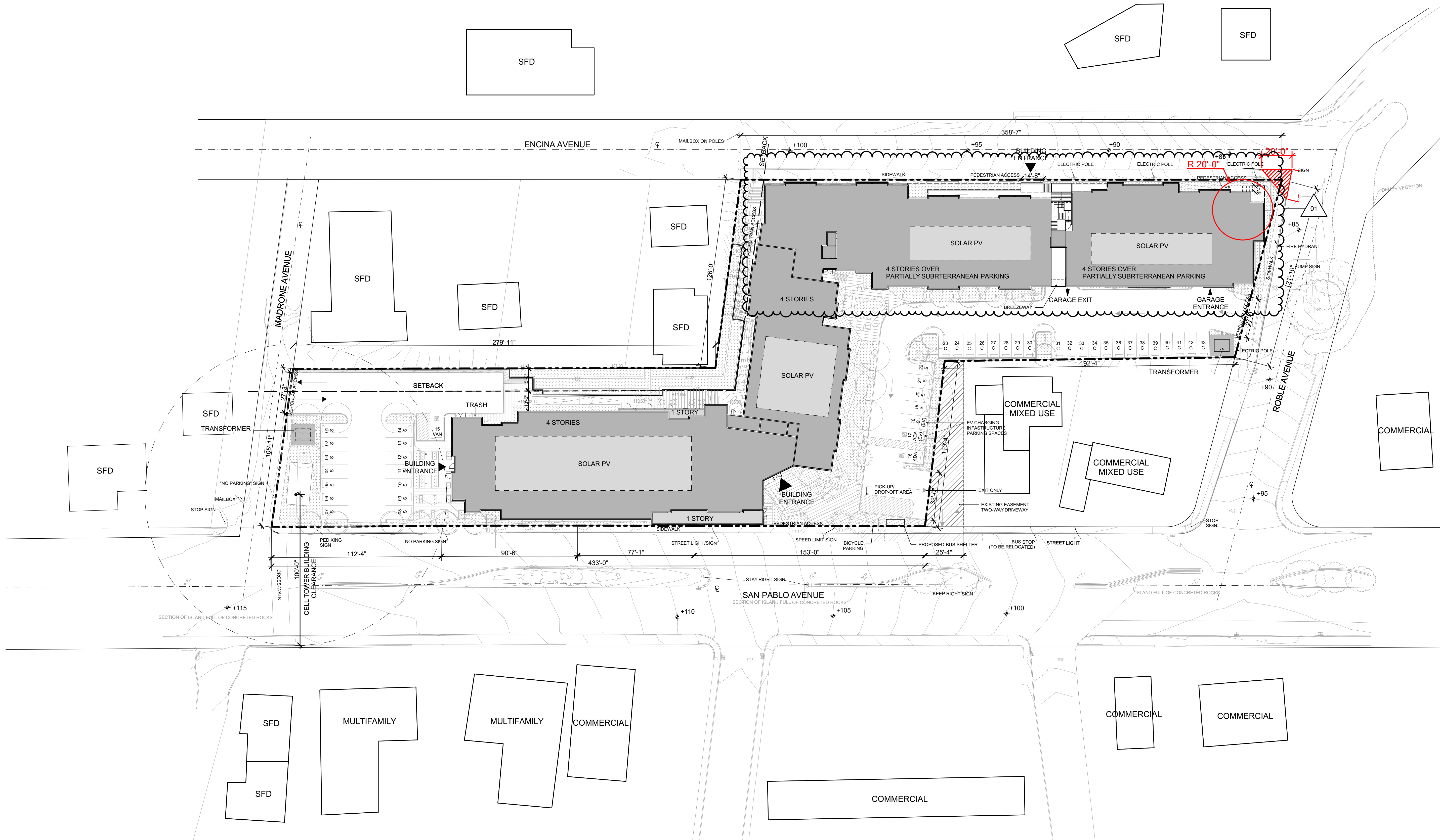
KEY PLAN

NOT FOR CONSTRUCTION  
DRAWING TITLE  
**PLANTING PLAN**  
DATE  
05.16.2021  
SCALE  
1/8" = 1'-0"

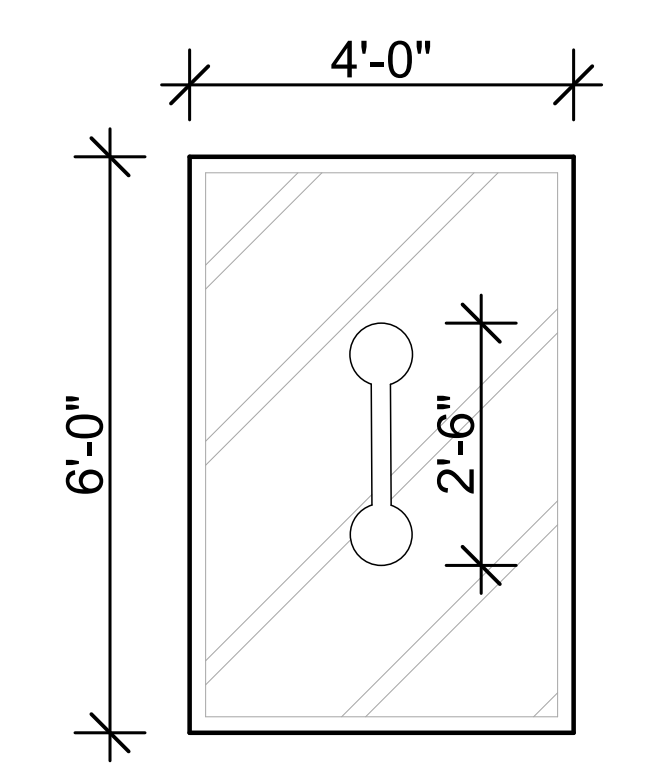
**L8.13**

**PLANTING PLAN**  
Scale: 1/8" = 1'-0" **1**

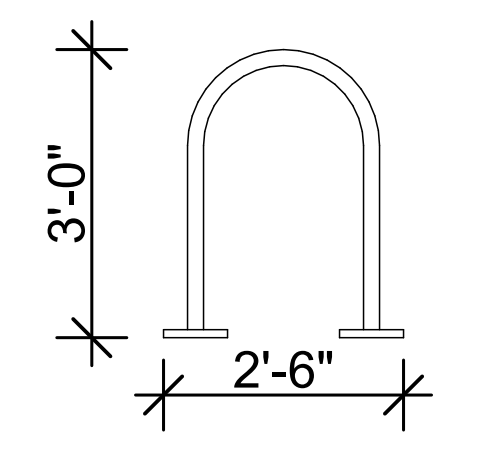




**SITE PLAN** ①  
SCALE: 1/32" = 1'-0"



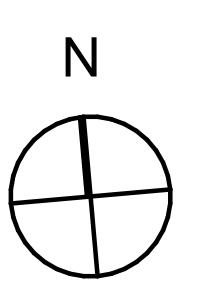
**TYP. ENLARGED BICYCLE PARKING** ②  
SCALE: 1/2" = 1'-0"



**BICYCLE STAND ELEVATION** ③  
SCALE: 1/2" = 1'-0"

**LEGEND**

- PROPERTY LINE
- SETBACK LINE
- STREET CENTER LINE
- ☼ EXISTING TREE
- ELECTRIC POLE
- STREET SIGN
- STREET LIGHT
- ⊙ FIRE HYDRANT



**GENERAL NOTES**

1. DEMO ALL EXISTING STRUCTURES
2. PREPARE SITE FOR PROPOSED NEW CONSTRUCTION; SEE CIVIL PLANS

**RELATIVITY ARCHITECTS**  
 421 COLTON STREET, FLOOR 2, L.A. CA 90013 P. 310.573.6300



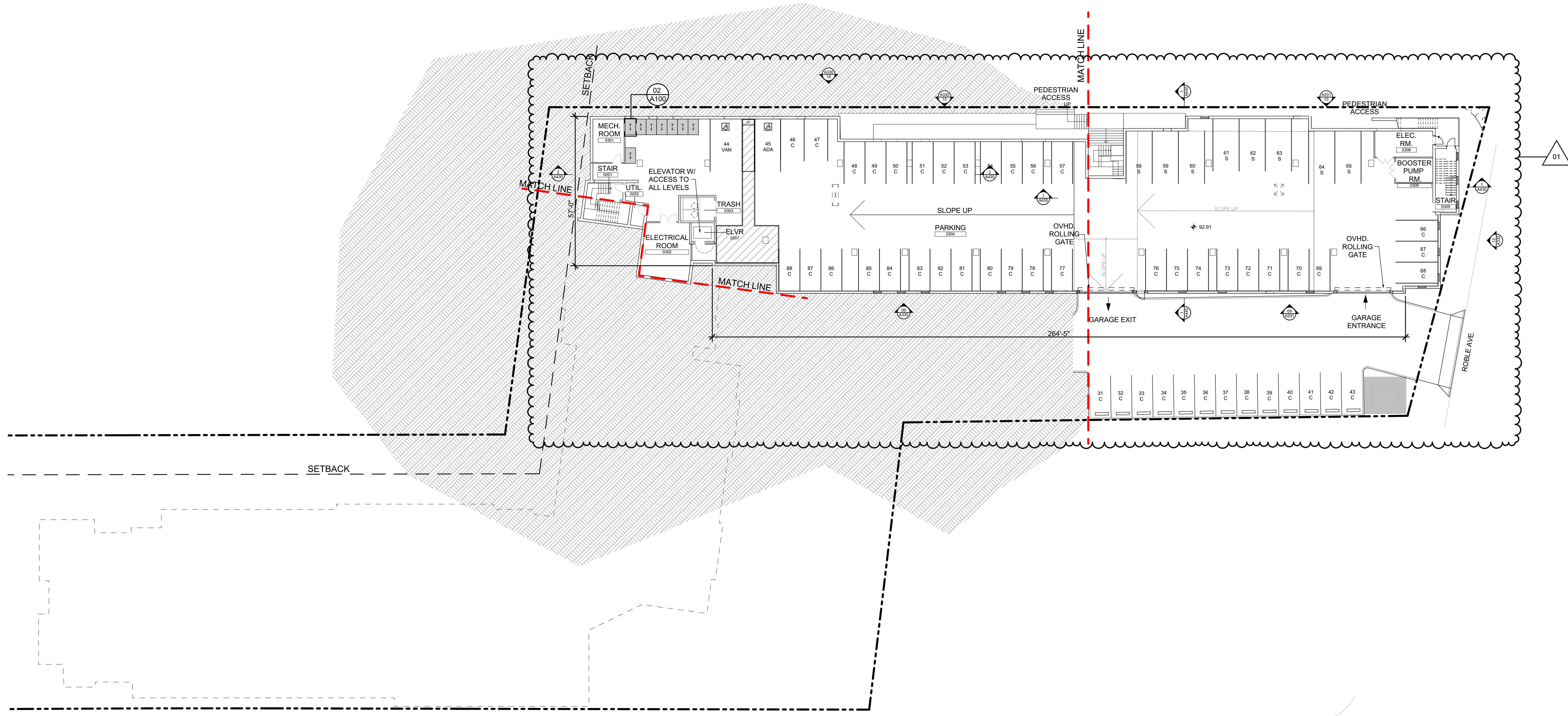
**VISTA WOODS APARTMENTS**  
 600 ROBLE AVENUE  
 1106 SAN PABLO AVENUE  
 1230 SAN PABLO AVENUE  
 PINOLE, CA, 94564

Site Plan	
DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION
DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

**SHEET**  
**A100**

BIRDSEED\_ARCHITECTS - BIRDSEEDARCHITECTS.COM 6/19/2021

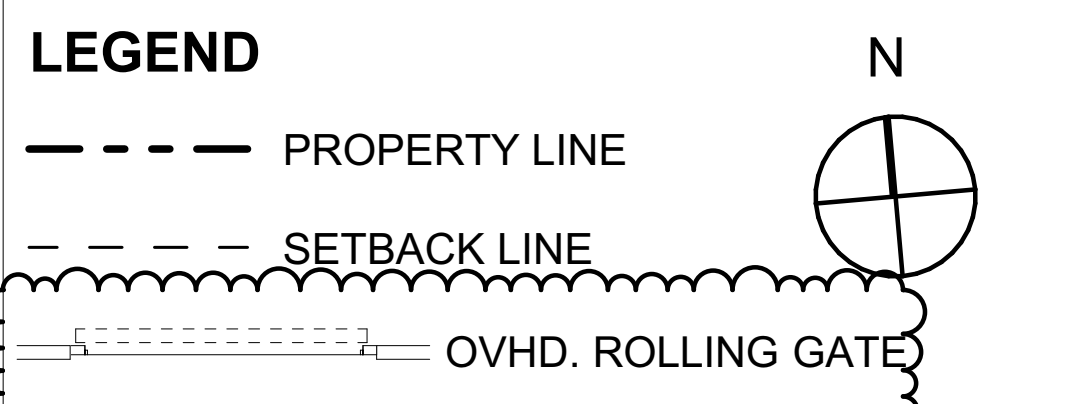
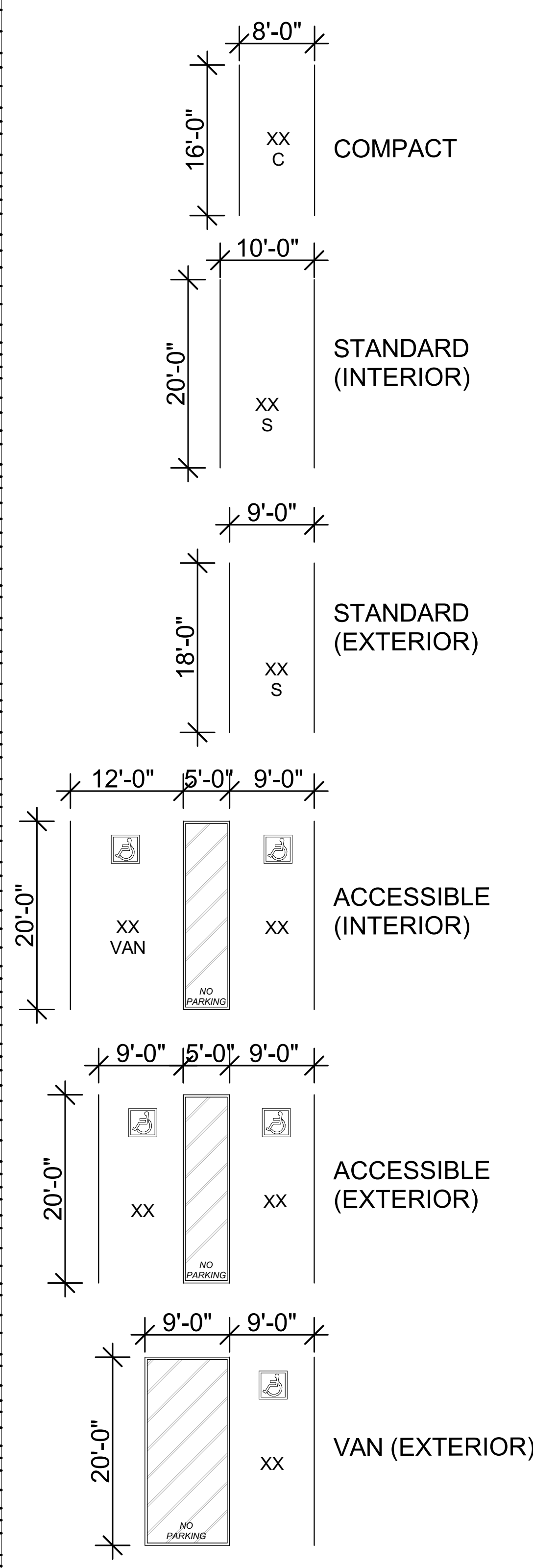




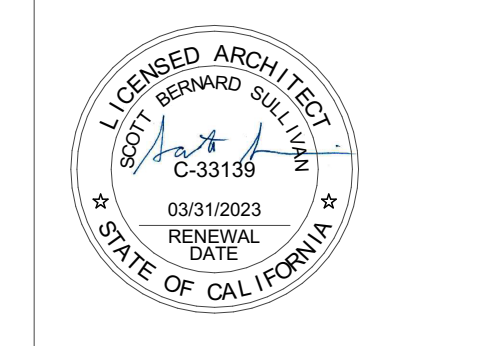
PROPOSED UNDERGROUND PARKING FLOOR PLAN  
SCALE: 1" = 20'

**GENERAL NOTES**  
 1. DEMO ALL EXISTING STRUCTURES  
 2. PREPARE SITE FOR PROPOSED NEW CONSTRUCTION;  
 SEE CIVIL PLANS

**PARKING LEGEND**



**RELATIVITY ARCHITECTS**  
 421 COLTON STREET, FLOOR 2, L.A. CA 90013 P. 310.573.4300



VISTA WOODS APARTMENTS  
 600 ROBLE AVENUE  
 1106 SAN PABLO AVENUE  
 1230 SAN PABLO AVENUE  
 PINOLE, CA, 94564

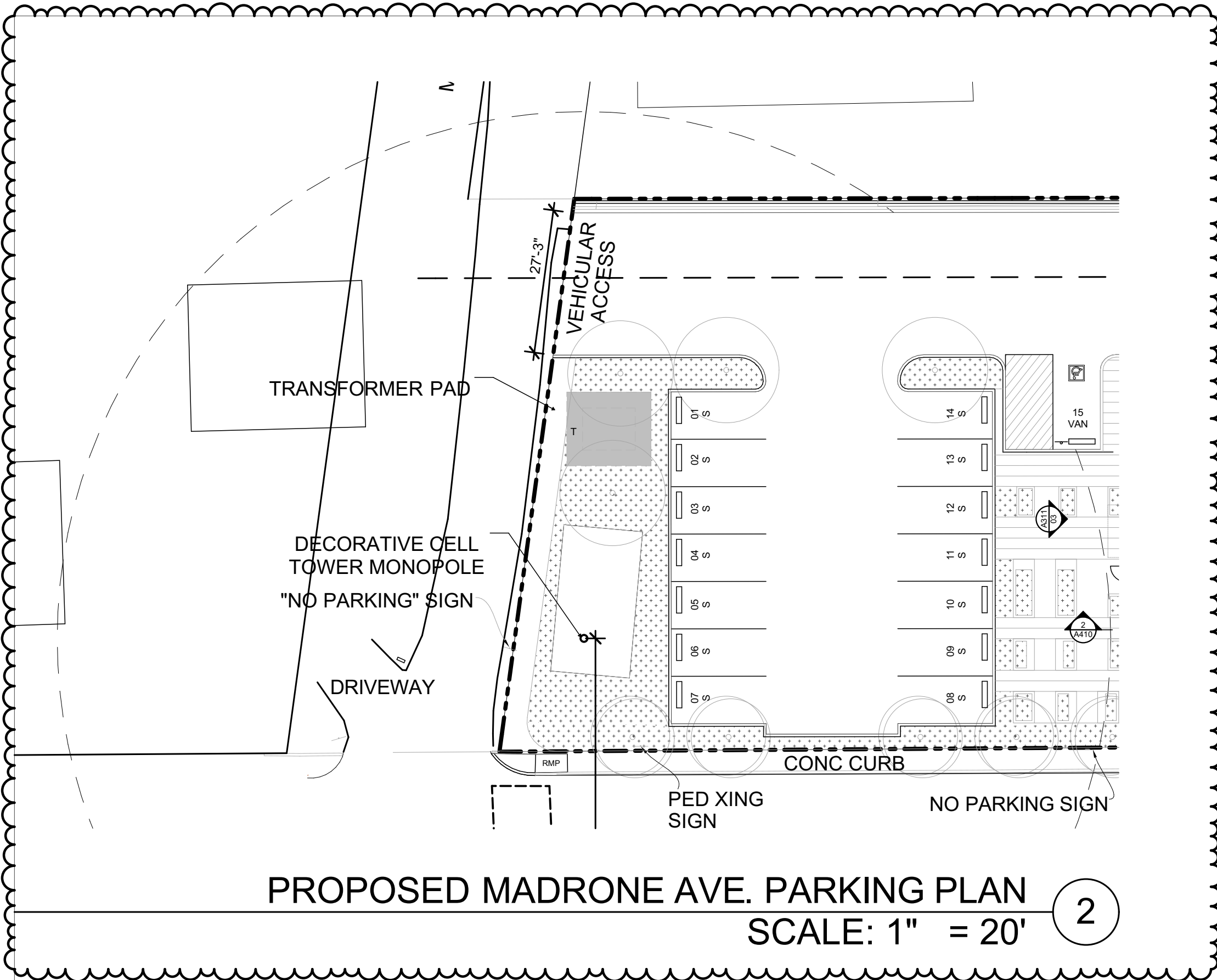
**Parking Overall Floor Plan**

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY: EC  
 ARCH. JOB NO.: 2103A  
 SCALE: AS NOTED

SHEET  
**A200**



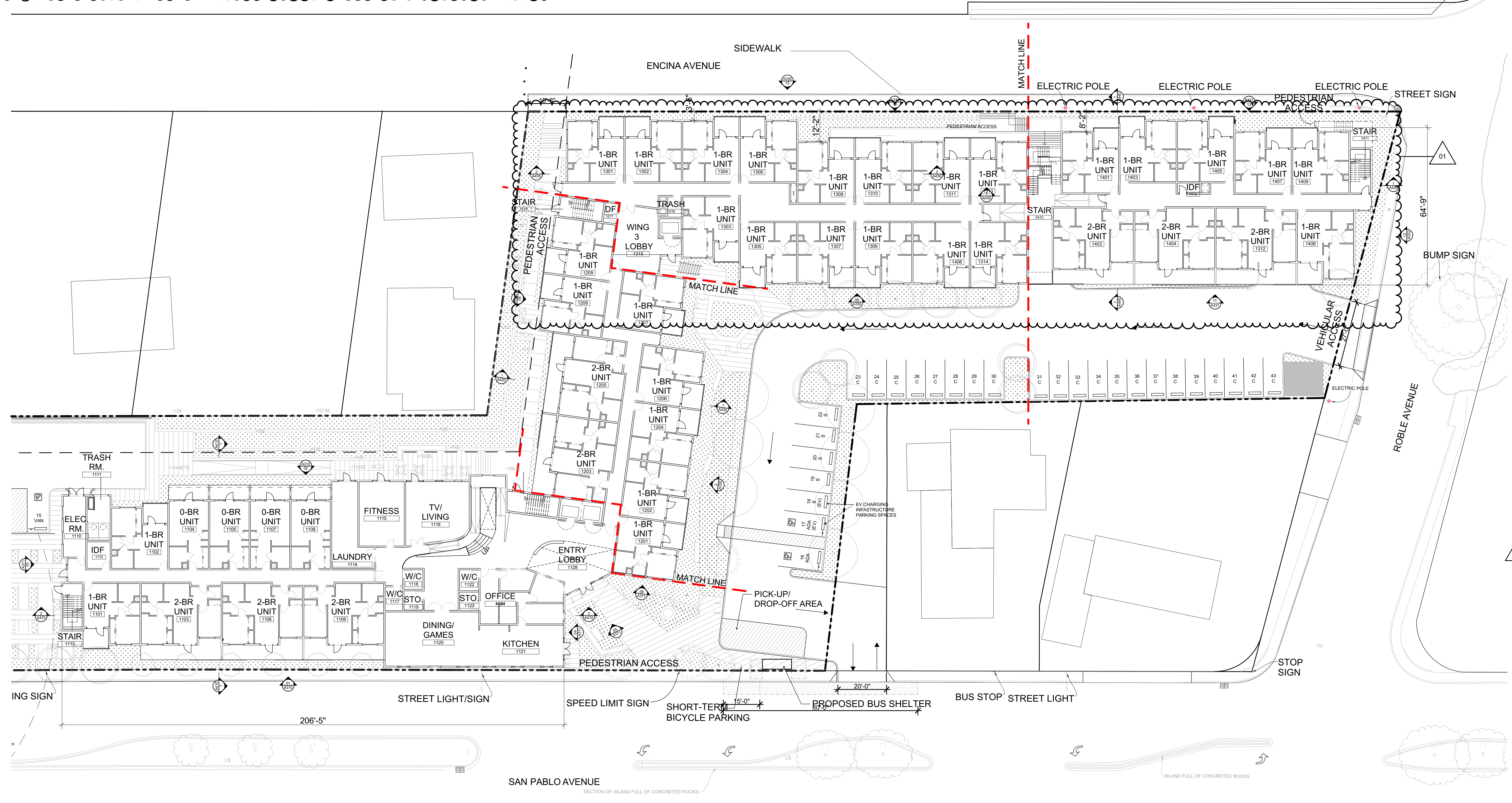
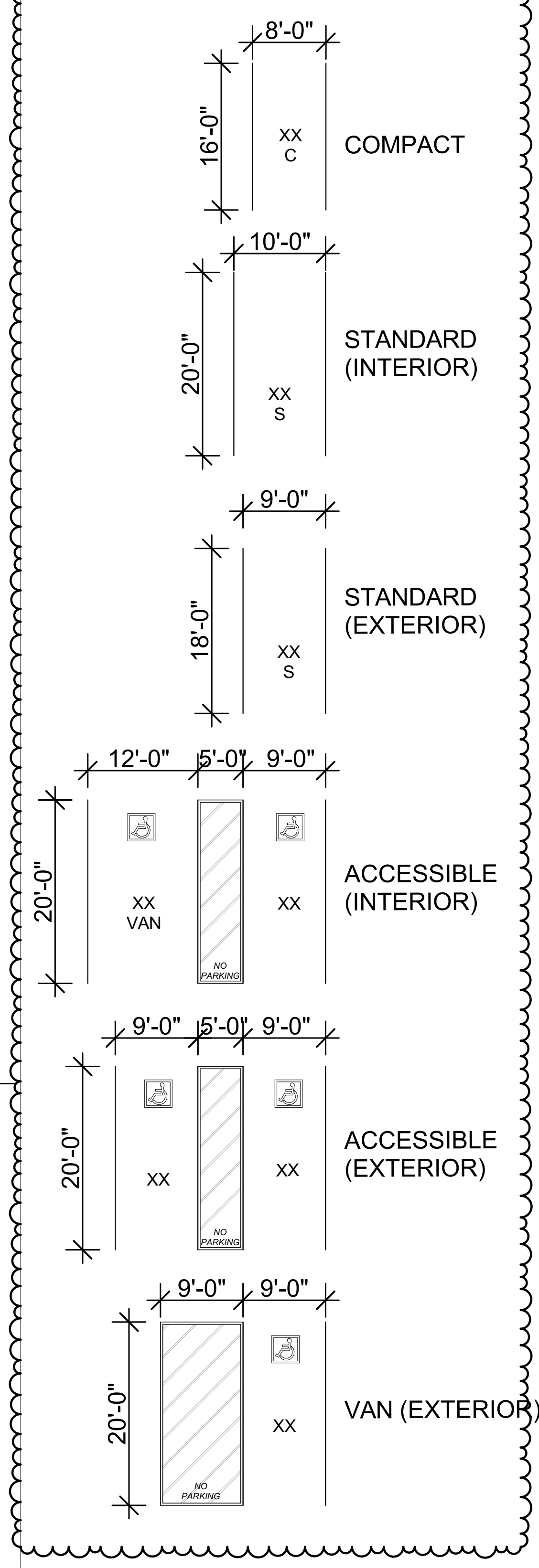


**GENERAL NOTES**

1. DEMO ALL EXISTING STRUCTURES
2. PREPARE SITE FOR PROPOSED NEW CONSTRUCTION; SEE CIVIL PLANS

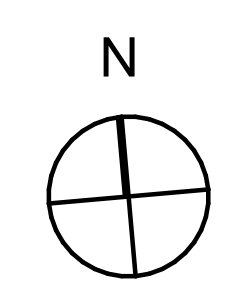
Units Types Ground Floor	
Unit	Quantity
0-BR UNIT	4
1-BR UNIT	29
2-BR UNIT	8
<b>TOTAL</b>	<b>41</b>

**PARKING LEGEND**



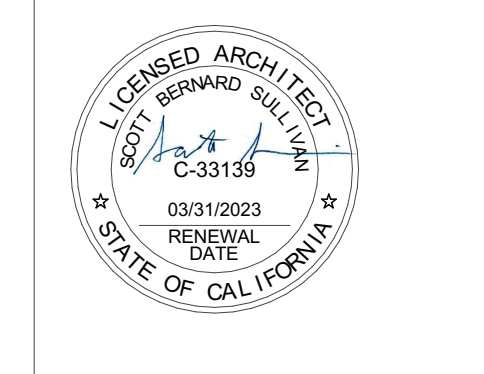
**LEGEND**

- PROPERTY LINE
- - - SETBACK LINE



**RELATIVITY ARCHITECTS**

424 COLTON STREET, FLOOR 2, L.A. CA 90013 P. 310.573.0300



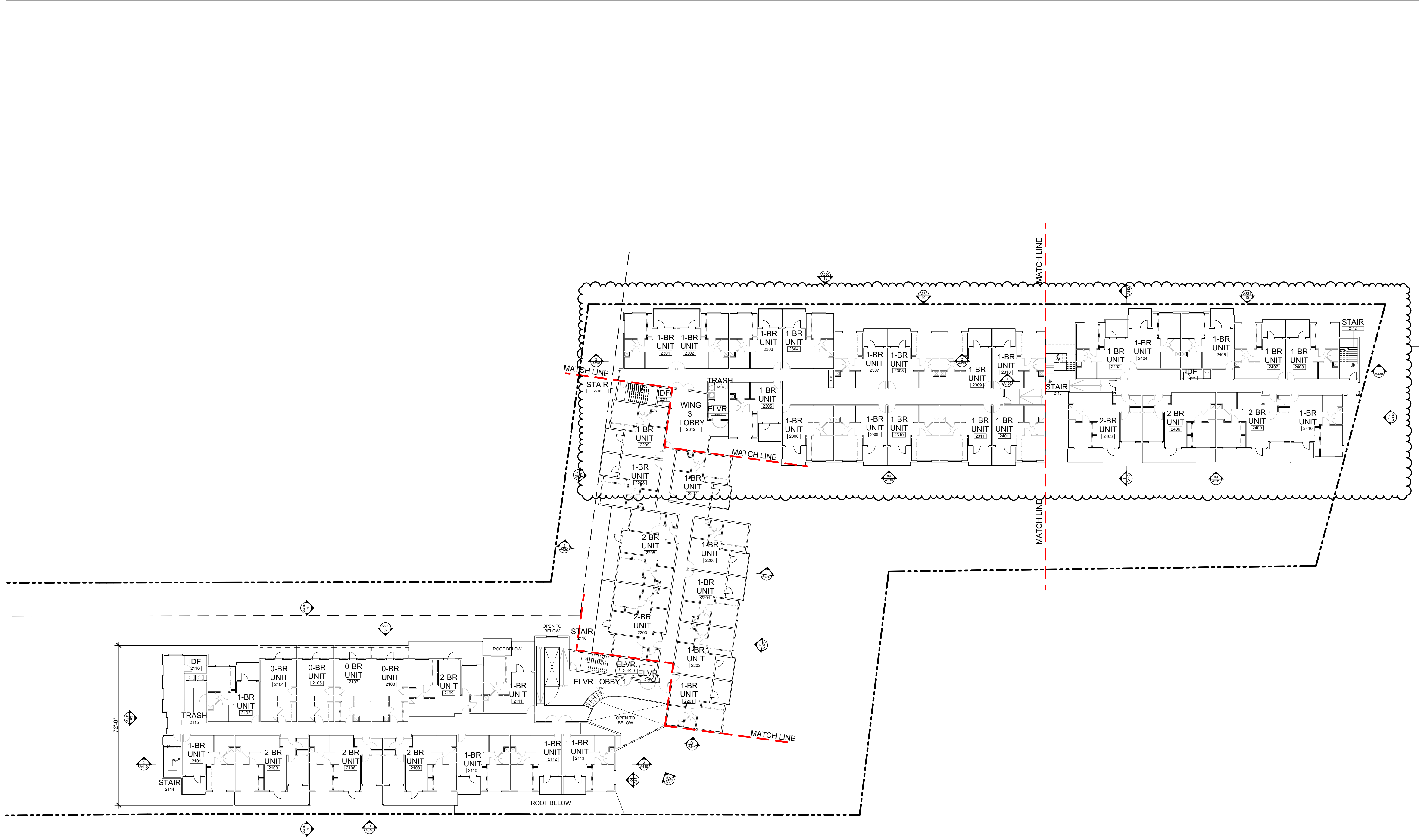
**VISTA WOODS APARTMENTS**  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

**Ground Floor Overall Floor Plan**

DATE	ISSUE	DEVELOPMENT APPLICATION SUBMISSION
03/30/2021	06/19/2021	
DRAWN BY	EC	
ARCH. JOB NO.	2103A	
SCALE	AS NOTED	

**SHEET**  
**A210**



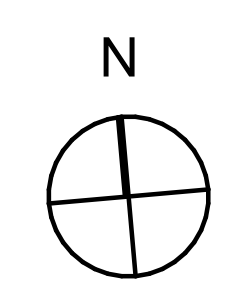


PROPOSED SECOND FLOOR PLAN 1  
SCALE: 1" = 20'

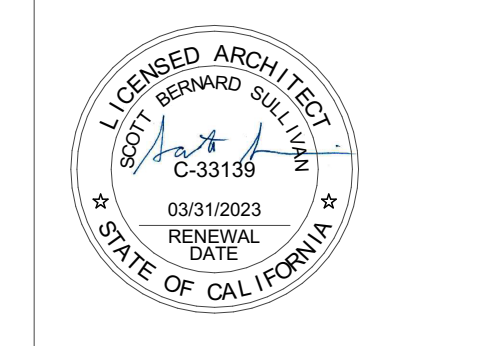
**GENERAL NOTES**  
 1. DEMO ALL EXISTING STRUCTURES  
 2. PREPARE SITE FOR PROPOSED NEW CONSTRUCTION;  
 SEE CIVIL PLANS

Units Types Second Floor	
Unit	Quantity
0-BR UNIT	4
1-BR UNIT	33
2-BR UNIT	9
<b>TOTAL</b>	<b>46</b>

**LEGEND**  
 - - - - - PROPERTY LINE  
 - - - - - SETBACK LINE



**RELATIVITY ARCHITECTS**  
 421 COLTON STREET, FLOOR 2, L.A. CA 90013 P. 310.573.6300



VISTA WOODS APARTMENTS  
 600 ROBLE AVENUE  
 1106 SAN PABLO AVENUE  
 1230 SAN PABLO AVENUE  
 PINOLE, CA, 94564

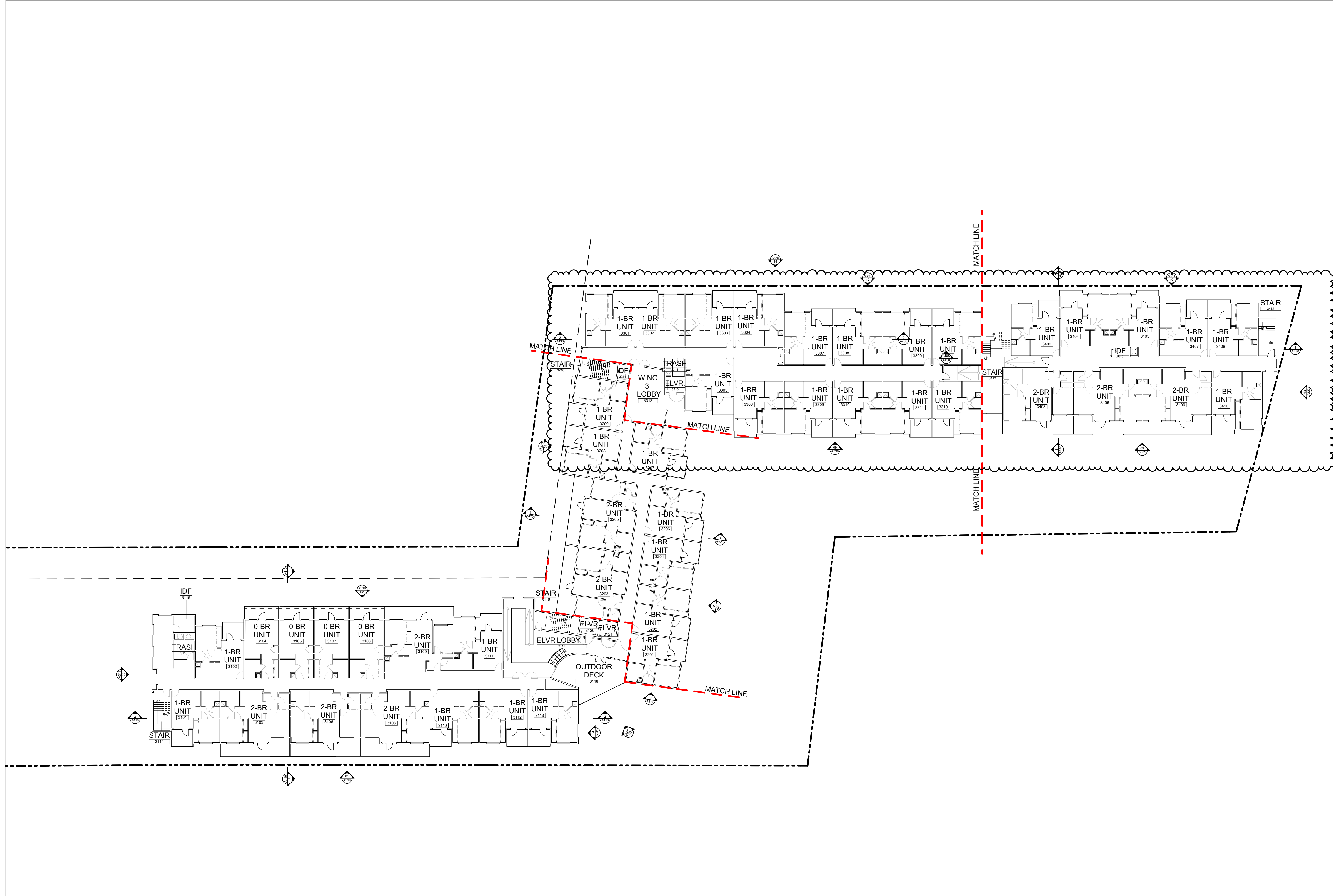
Second Floor Overall Floor Plan

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY: EC  
 ARCH. JOB NO.: 2103A  
 SCALE: AS NOTED

SHEET  
**A220**





PROPOSED THIRD FLOOR PLAN ①  
SCALE: 1" = 20'

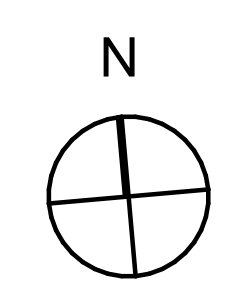
**GENERAL NOTES**

1. DEMO ALL EXISTING STRUCTURES
2. PREPARE SITE FOR PROPOSED NEW CONSTRUCTION; SEE CIVIL PLANS

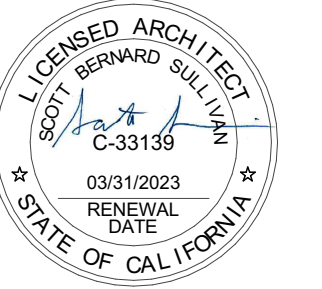
Units Types Third Floor		
Unit	Quantity	
0-BR UNIT	4	
1-BR UNIT	33	
2-BR UNIT	9	
	<b>46</b>	

**LEGEND**

- PROPERTY LINE
- - - SETBACK LINE



**RELATIVITY ARCHITECTS**



VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

Third Floor Overall Floor Plan

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

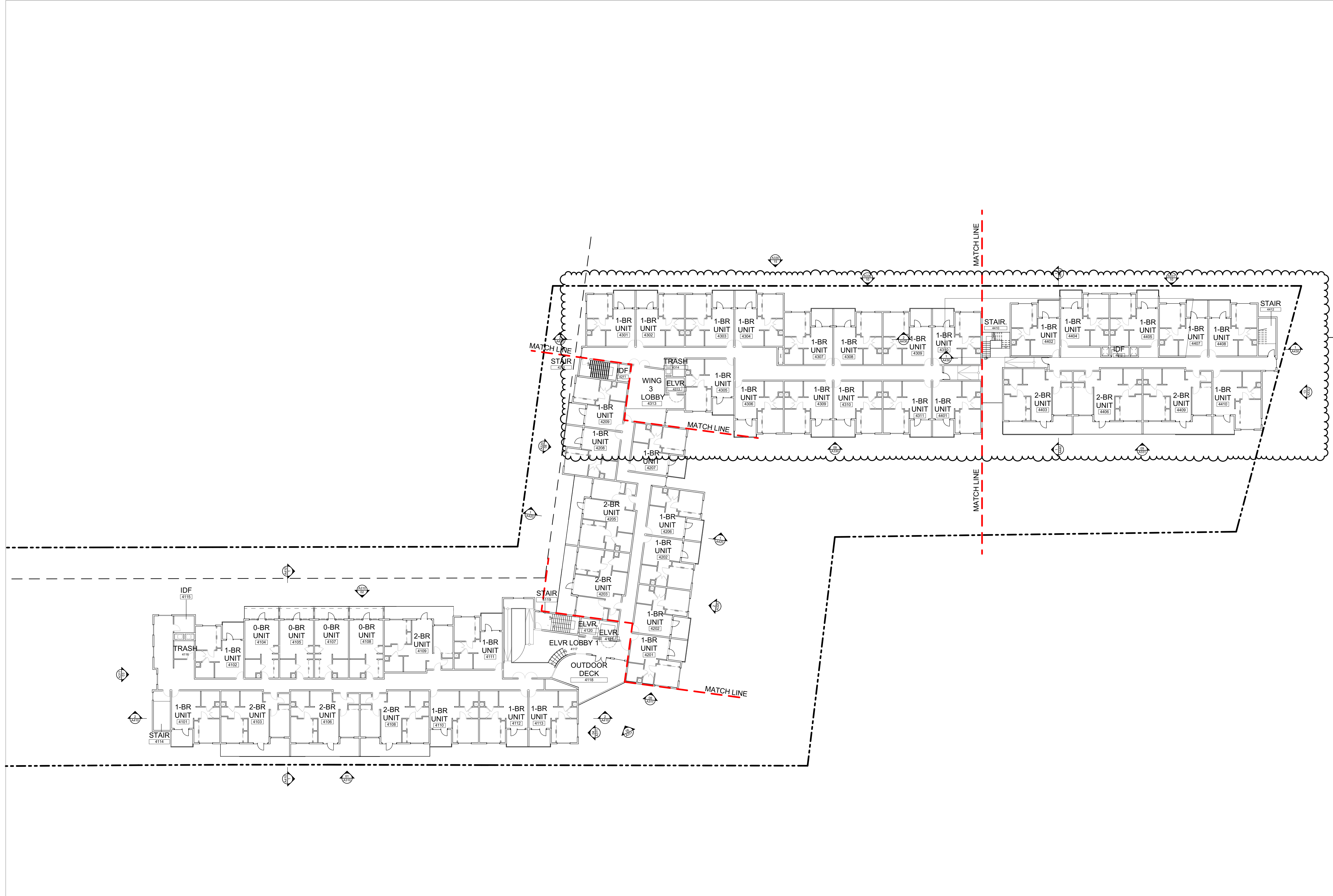
DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

SHEET  
**A230**

424 COLTON STREET, FLOOR 2, L.A. CA 90013 P. 310.573.4300

06/19/2021 11:58 AM - B:\Projects\2103A - Vista Woods Apartments\Arch\CAD\3rd Floor\3rd Floor.dwg



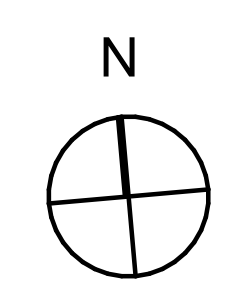


PROPOSED FOURTH FLOOR PLAN ①  
SCALE: 1" = 20'

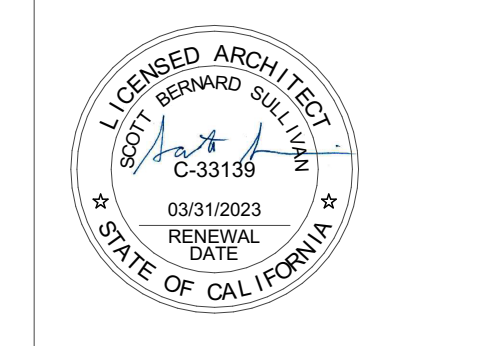
**GENERAL NOTES**  
 1. DEMO ALL EXISTING STRUCTURES  
 2. PREPARE SITE FOR PROPOSED NEW CONSTRUCTION;  
 SEE CIVIL PLANS

Units	Types	Fourth Floor
# BR	Quantity	
0-BR UNIT	4	
1-BR UNIT	33	
2-BR UNIT	9	
	<b>46</b>	

**LEGEND**  
 - - - - - PROPERTY LINE  
 - - - - - SETBACK LINE



**RELATIVITY ARCHITECTS**  
 421 COLTON STREET, FLOOR 2, L.A. CA 90013 P. 310.573.0300



VISTA WOODS APARTMENTS  
 600 ROBLE AVENUE  
 1106 SAN PABLO AVENUE  
 1230 SAN PABLO AVENUE  
 PINOLE, CA, 94564

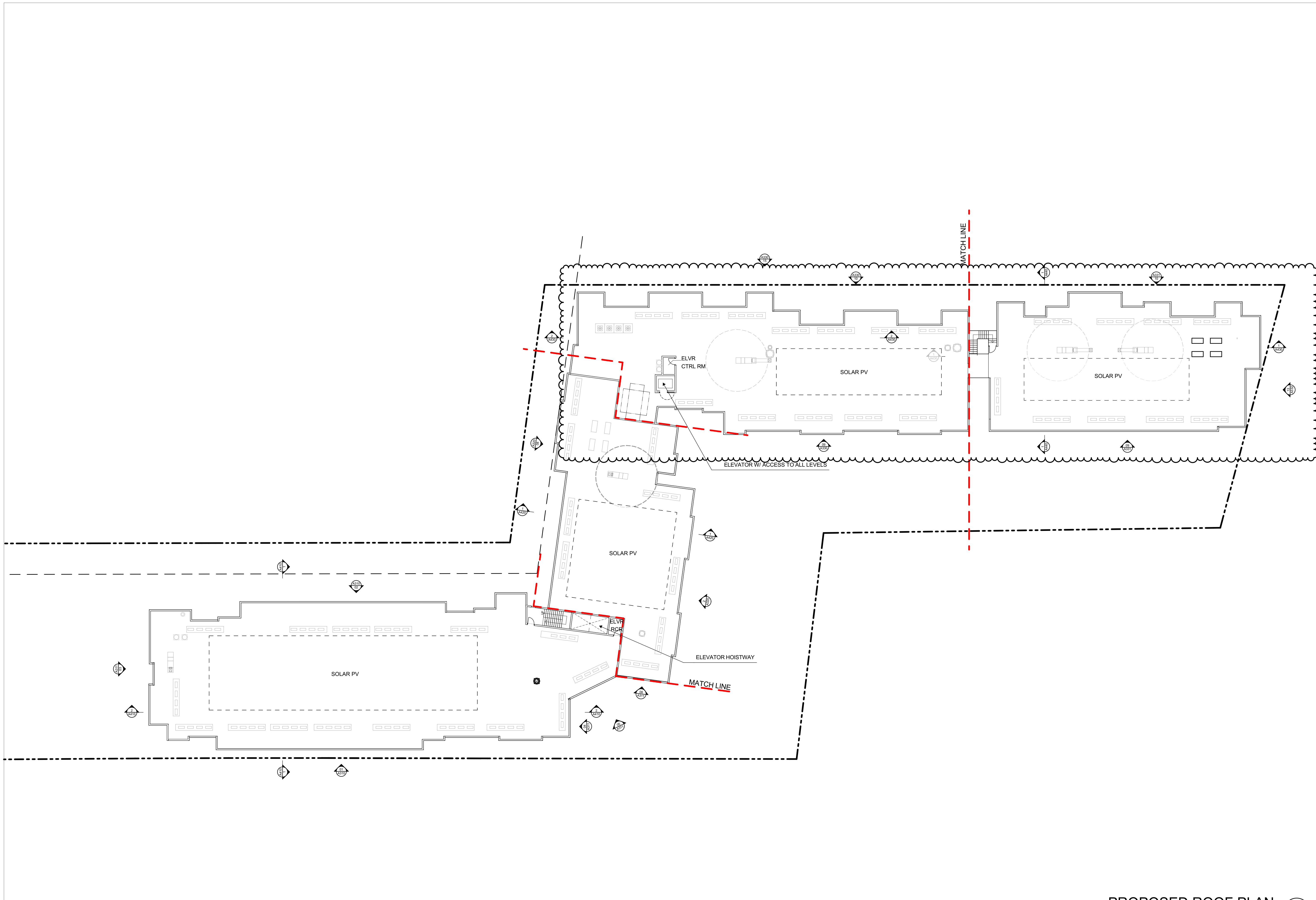
**Fourth Floor Overall Floor Plan**

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/10/2021	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY: EC  
 ARCH. JOB NO.: 2103A  
 SCALE: AS NOTED

SHEET  
**A240**





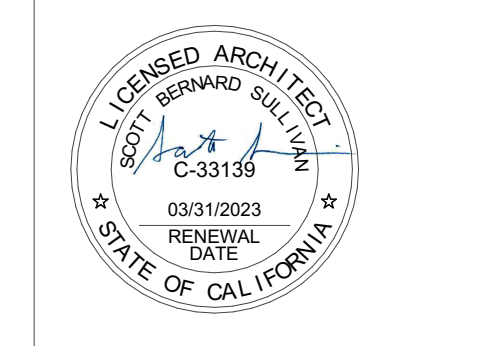
PROPOSED ROOF PLAN 1  
SCALE: 1" = 20'

**GENERAL NOTES**  
 1. DEMO ALL EXISTING STRUCTURES  
 2. PREPARE SITE FOR PROPOSED NEW CONSTRUCTION;  
 SEE CIVIL PLANS

**LEGEND**  
 - - - - - PROPERTY LINE  
 - - - - - SETBACK LINE

N

**RELATIVITY ARCHITECTS**



VISTA WOODS APARTMENTS  
 600 ROBLE AVENUE  
 1106 SAN PABLO AVENUE  
 1230 SAN PABLO AVENUE  
 PINOLE, CA, 94564

**Roof Overall Floor Plan**

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

**SHEET**  
**A250**





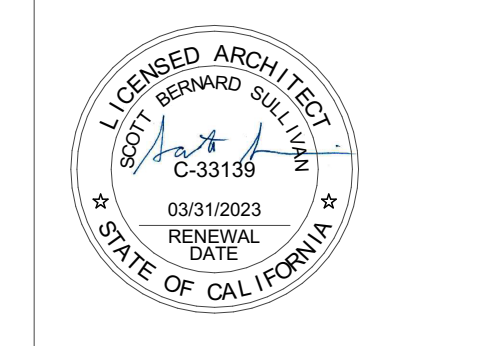
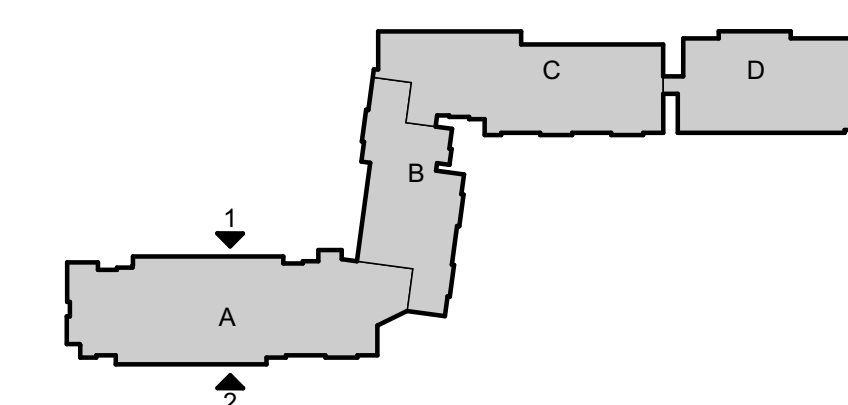
WING A - SOUTH ELEVATION 2  
SCALE: 1/8" = 1'-0"



WING A - NORTH ELEVATION 1  
SCALE: 1/8" = 1'-0"

**MATERIALS LEGEND**

	METAL CLADDING		DARK TAN STUCCO
	PERFORATED METAL SCREEN		PAINTED STUCCO AT BALCONY PARTITIONS
	WINDOW FRAME		PAINTED STUCCO AT BALCONY PARTITIONS
	METAL RAILING		PAINTED STUCCO AT BALCONY PARTITIONS
	DARK TAN STUCCO		PAINTED STUCCO AT BALCONY PARTITIONS
	LIGHT TAN STUCCO		PAINTED STUCCO AT BALCONY PARTITIONS



VISTA WOODS APARTMENTS  
 600 ROBLE AVENUE  
 1106 SAN PABLO AVENUE  
 1230 SAN PABLO AVENUE  
 PINOLE, CA, 94564

Wing A South & North - Exterior Elevation

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION
DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

RENDERED BY JAVIS - BIMBAO/BLACK BY ARCHICAD 24/PHOTORENDER 6/19/2021





WING A - WEST ELEVATION ④  
SCALE: 1/8" = 1'-0"



WING A - EAST ELEVATION ③  
SCALE: 1/8" = 1'-0"



WING A - MAIN ENTRANCE ELEVATION ②  
SCALE: 1/8" = 1'-0"



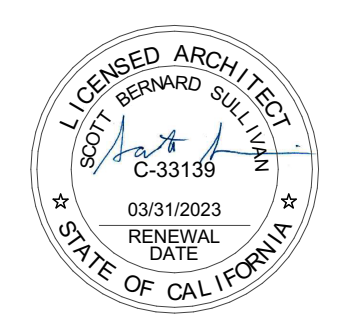
WING B - SOUTH ELEVATION ①  
SCALE: 1/8" = 1'-0"

**MATERIALS LEGEND**

	METAL CLADDING		DARK TAN STUCCO
	PERFORATED METAL SCREEN		PAINTED STUCCO AT BALCONY PARTITIONS
	WINDOW FRAME		PAINTED STUCCO AT BALCONY PARTITIONS
	METAL RAILING		PAINTED STUCCO AT BALCONY PARTITIONS
	DARK TAN STUCCO		PAINTED STUCCO AT BALCONY PARTITIONS
	LIGHT TAN STUCCO		PAINTED STUCCO AT BALCONY PARTITIONS

**GENERAL NOTES**  
 1. DEMO ALL EXISTING STRUCTURES  
 2. PREPARE SITE FOR PROPOSED NEW CONSTRUCTION;  
 SEE CIVIL PLANS

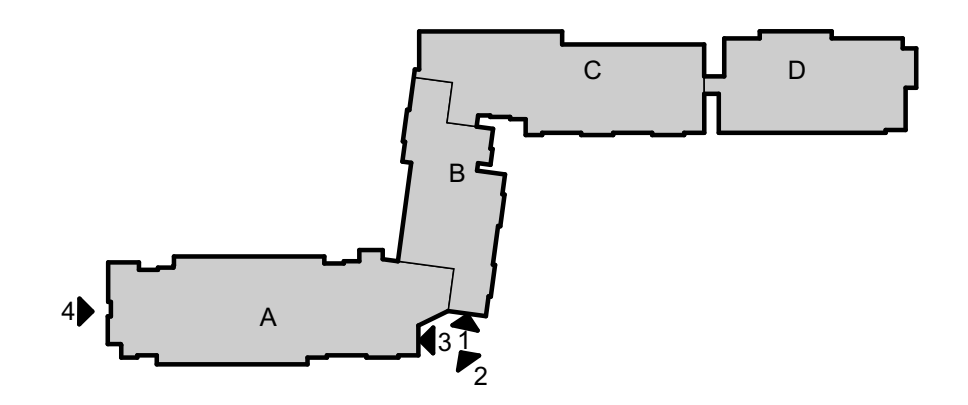
**RELATIVITY ARCHITECTS**  
 424 COLTON STREET, FLOOR 2, L.A. CA 90013 P. 310.573.0300



VISTA WOODS APARTMENTS  
 600 ROBLE AVENUE  
 1106 SAN PABLO AVENUE  
 1230 SAN PABLO AVENUE  
 PINOLE, CA, 94564

**Wing A West & East - Exterior Elevations**

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION
DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED



SHEET  
**A311**

RELATIVITY ARCHITECTS - BULKHEAD ELEVATION ARCHICAD 24/06/2021 6/19/2021





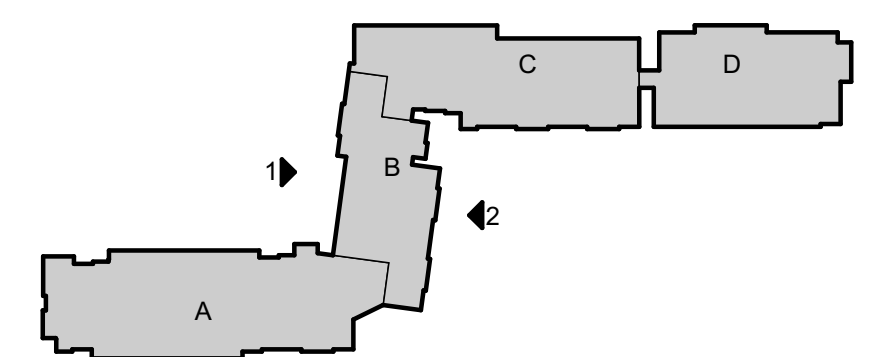
WING B - EAST ELEVATION  
SCALE: 1/8" = 1'-0" (2)



WING B - WEST ELEVATION  
SCALE: 1/8" = 1'-0" (1)

MATERIALS LEGEND

- |  |                         |  |                                      |
|--|-------------------------|--|--------------------------------------|
|  | METAL CLADDING          |  | DARK TAN STUCCO                      |
|  | PERFORATED METAL SCREEN |  | PAINTED STUCCO AT BALCONY PARTITIONS |
|  | WINDOW FRAME            |  | PAINTED STUCCO AT BALCONY PARTITIONS |
|  | METAL RAILING           |  | PAINTED STUCCO AT BALCONY PARTITIONS |
|  | DARK TAN STUCCO         |  | PAINTED STUCCO AT BALCONY PARTITIONS |
|  | LIGHT TAN STUCCO        |  | PAINTED STUCCO AT BALCONY PARTITIONS |



DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED
















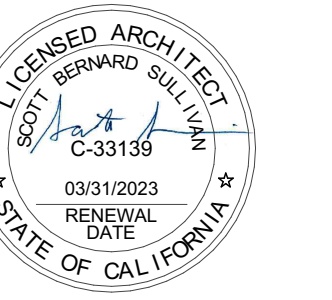
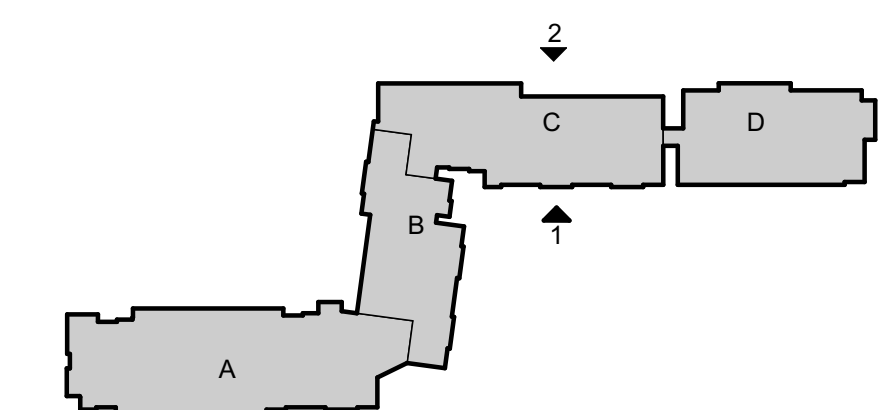
WING C - NORTH ELEVATION ②  
SCALE: 1/8" = 1'-0"



WING C - SOUTH ELEVATION ①  
SCALE: 1/8" = 1'-0"

**MATERIALS LEGEND**

	METAL CLADDING		DARK TAN STUCCO
	PERFORATED METAL SCREEN		PAINTED STUCCO AT BALCONY PARTITIONS
	WINDOW FRAME		PAINTED STUCCO AT BALCONY PARTITIONS
	METAL RAILING		PAINTED STUCCO AT BALCONY PARTITIONS
	DARK TAN STUCCO		PAINTED STUCCO AT BALCONY PARTITIONS
	LIGHT TAN STUCCO		







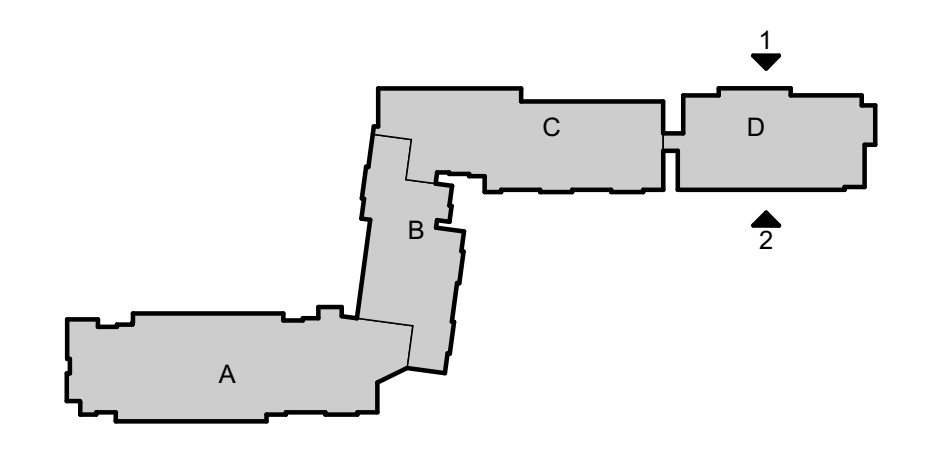
WING D - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0" (2)



WING D - NORTH ELEVATION  
SCALE: 1/8" = 1'-0" (1)

**MATERIALS LEGEND**

	METAL CLADDING		DARK TAN STUCCO
	PERFORATED METAL SCREEN		PAINTED STUCCO AT BALCONY PARTITIONS
	WINDOW FRAME		PAINTED STUCCO AT BALCONY PARTITIONS
	METAL RAILING		PAINTED STUCCO AT BALCONY PARTITIONS
	DARK TAN STUCCO		PAINTED STUCCO AT BALCONY PARTITIONS
	LIGHT TAN STUCCO		PAINTED STUCCO AT BALCONY PARTITIONS



VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

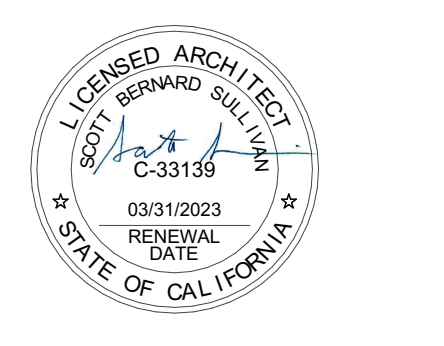
Wing D South & North -  
Exterior Elevations

DATE	ISSUE
03/30/2021 <td>DEVELOPMENT APPLICATION</td>	DEVELOPMENT APPLICATION
06/10/2021 <td>DEVELOPMENT APPLICATION RESUBMISSION</td>	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

**RELATIVITY ARCHITECTS**  
421 COLTON STREET, FLOOR 2, L.A. CA 90013 P. 310.573.6300



SHEET  
**A331**

BIMBAO, JAVOS - BIMBAO/BLACK BY ARCHICAD 24P/PHOTOREAL 6/18/2021

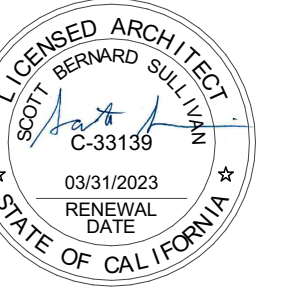
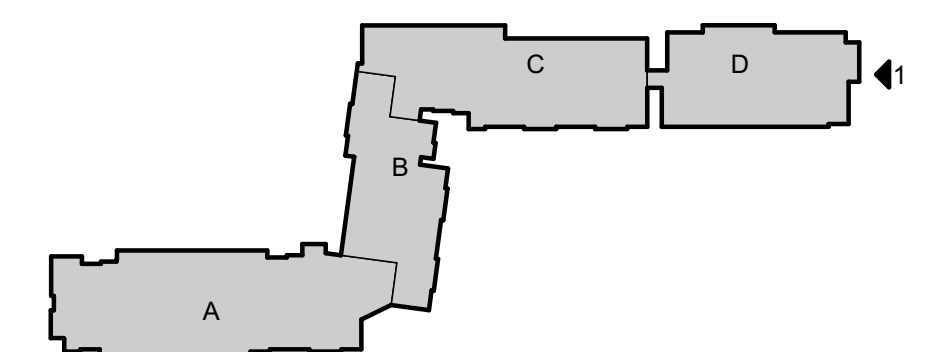




WING D - EAST ELEVATION  
SCALE: 1/8" = 1'-0" ①

**MATERIALS LEGEND**

- |  |                         |  |                                      |
|--|-------------------------|--|--------------------------------------|
|  | METAL CLADDING          |  | DARK TAN STUCCO                      |
|  | PERFORATED METAL SCREEN |  | PAINTED STUCCO AT BALCONY PARTITIONS |
|  | WINDOW FRAME            |  | PAINTED STUCCO AT BALCONY PARTITIONS |
|  | METAL RAILING           |  | PAINTED STUCCO AT BALCONY PARTITIONS |
|  | DARK TAN STUCCO         |  | PAINTED STUCCO AT BALCONY PARTITIONS |
|  | LIGHT TAN STUCCO        |  | PAINTED STUCCO AT BALCONY PARTITIONS |



VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

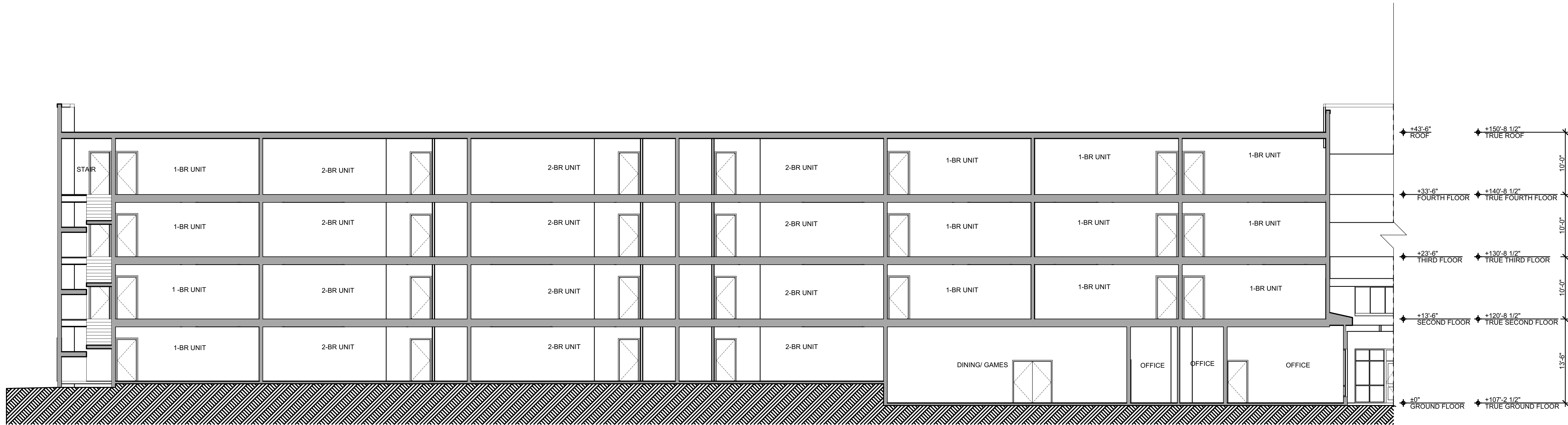
Wing D East - Exterior Elevation

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION RESUBMISSION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

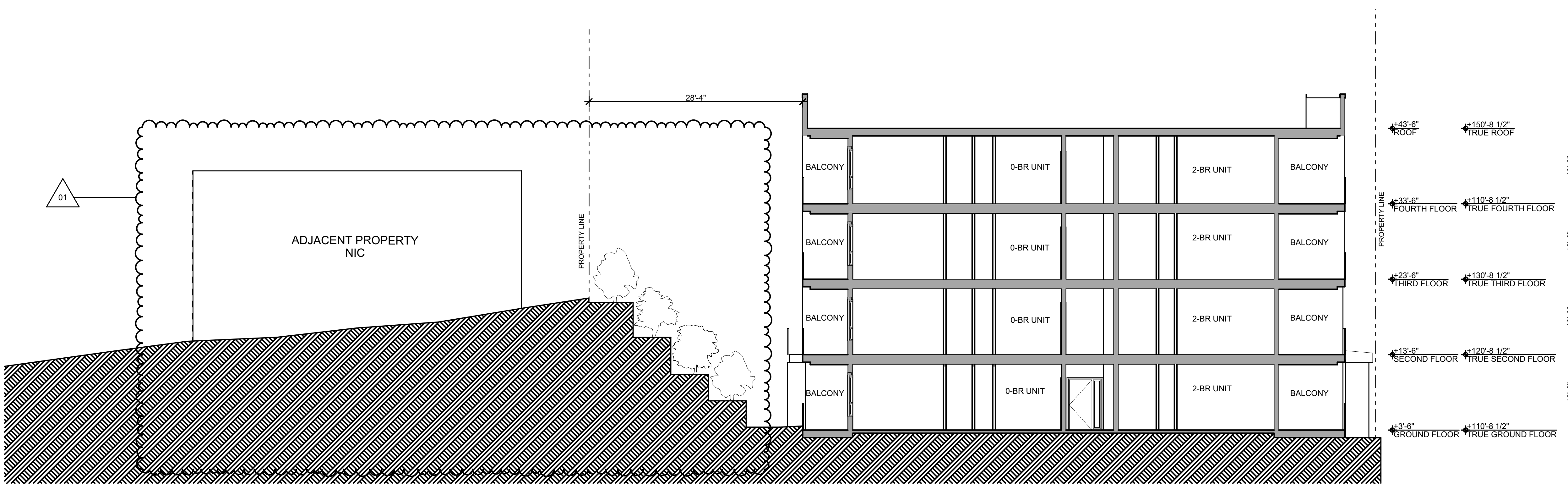
DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

SHEET  
A332

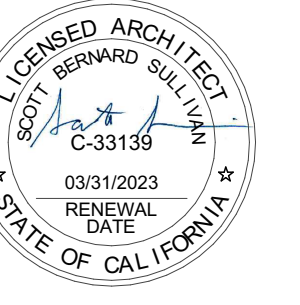
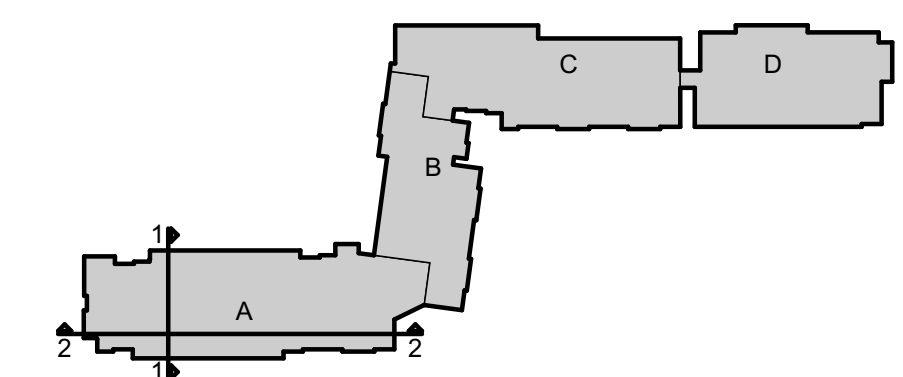




WING A - E-W BUILDING SECTION  
SCALE: 1/8" = 1'-0" ②



WING A - N-S BUILDING SECTION  
SCALE: 1/8" = 1'-0" ①



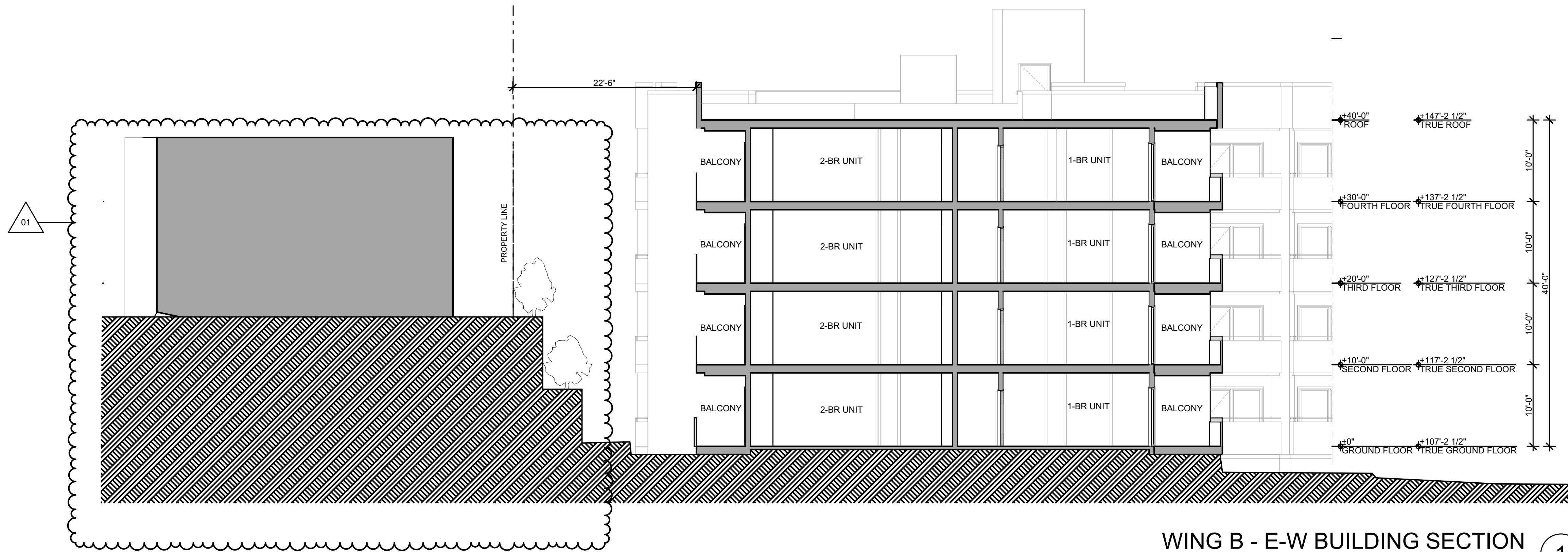
VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

Wing A - Building Sections (N-S & E-W)

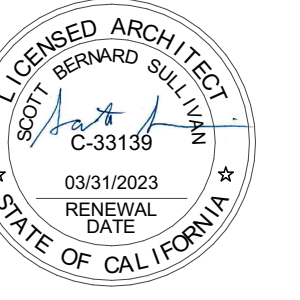
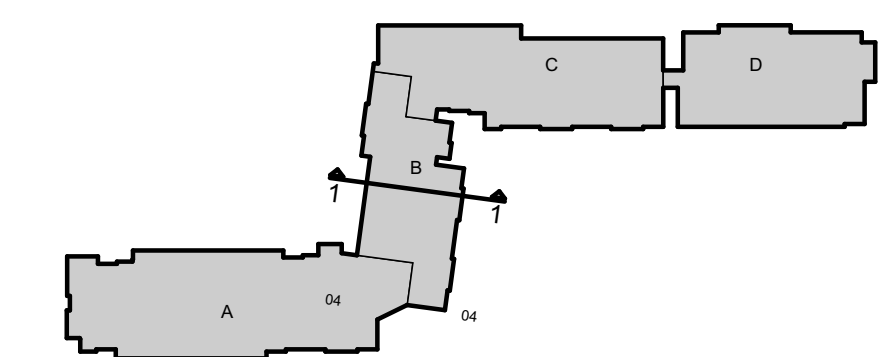
DATE	ISSUE
03/02/2021 <td>DEVELOPMENT APPLICATION</td>	DEVELOPMENT APPLICATION
06/16/2021 <td>DEVELOPMENT APPLICATION RESUBMISSION</td>	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED





WING B - E-W BUILDING SECTION ①  
SCALE: 1/8" = 1'-0"



VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

Wing A & B - Building Sections (E-W)

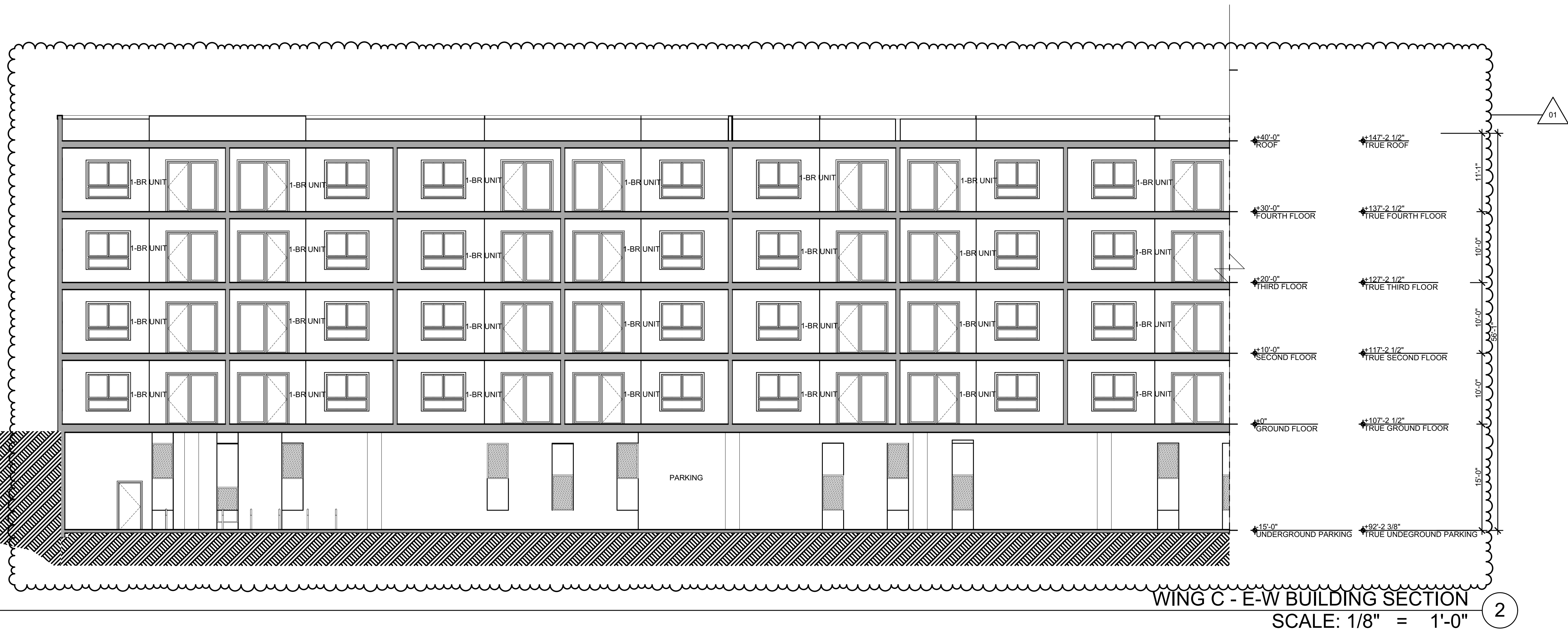
DATE	ISSUE
03/09/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

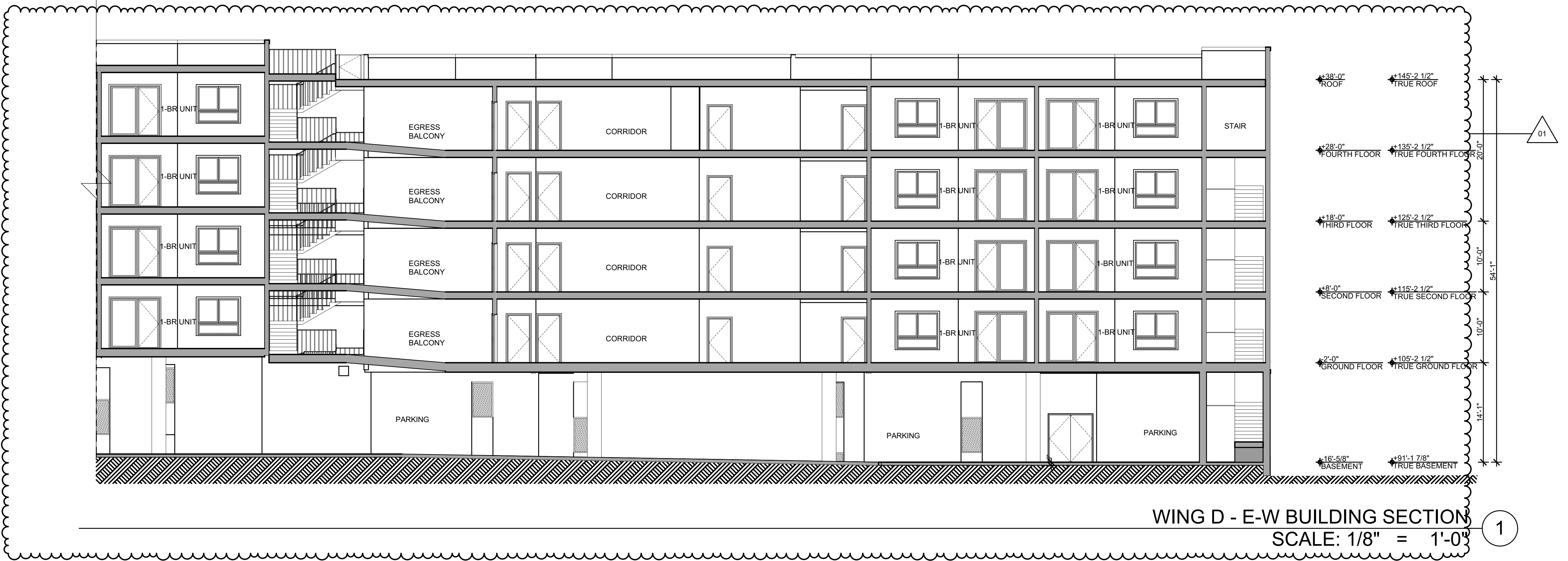
SHEET  
A420



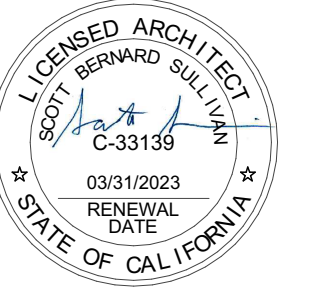
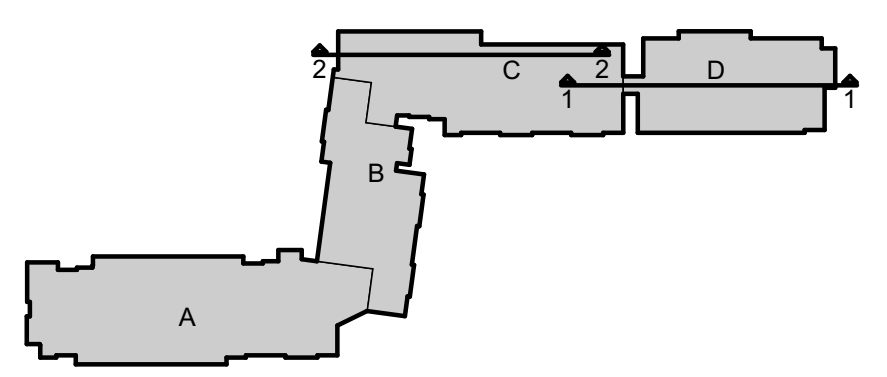
06/14/2021 08:19:20:21



WING C - E-W BUILDING SECTION  
SCALE: 1/8" = 1'-0" 2



WING D - E-W BUILDING SECTION  
SCALE: 1/8" = 1'-0" 1



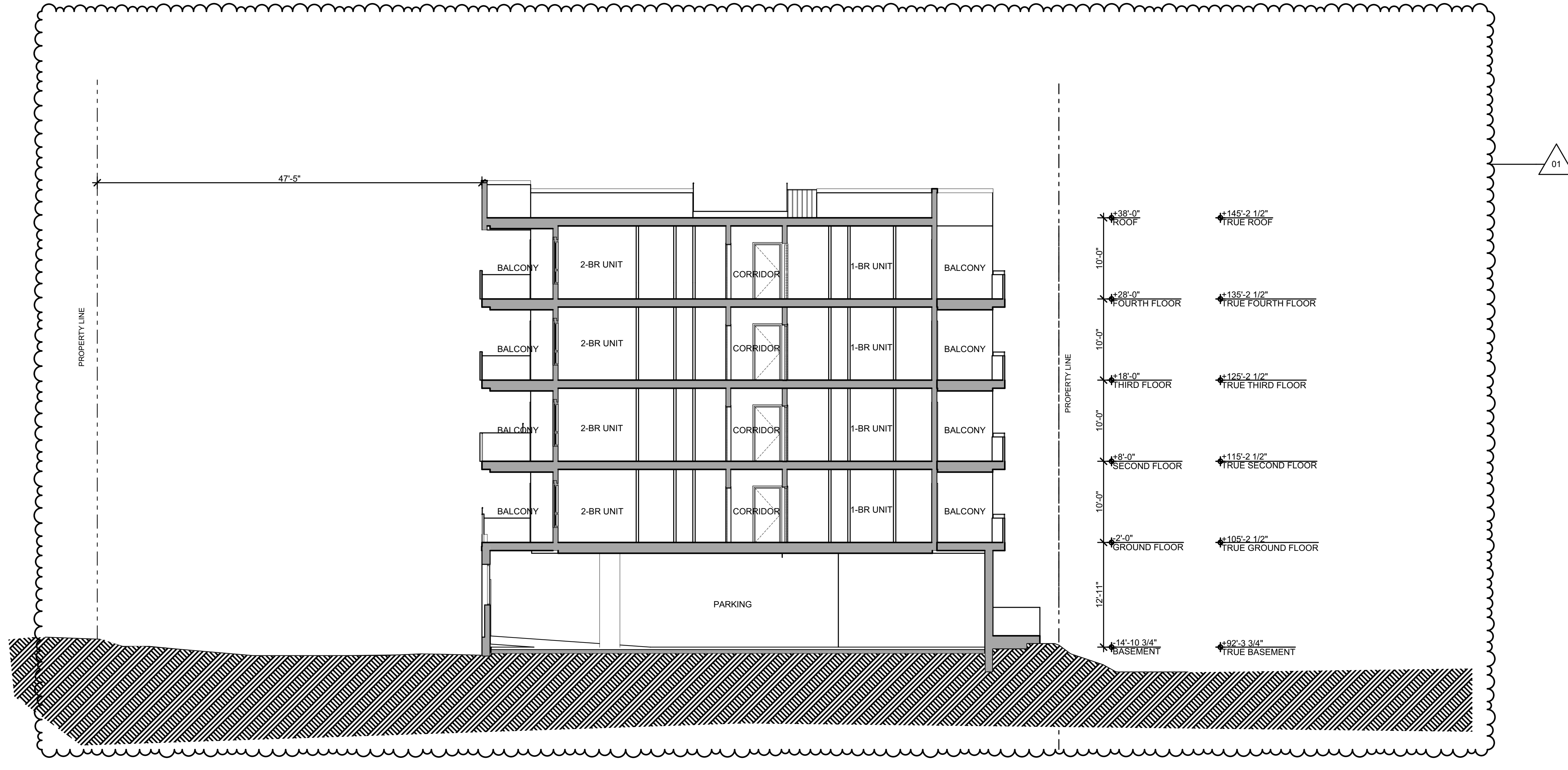
VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

Wings C & D - Building Section (N-S & E-W)

DATE	ISSUE
03/09/2021	DEVELOPMENT APPLICATION RESUBMISSION
06/14/2021	DEVELOPMENT APPLICATION RESUBMISSION

DRAWN BY: EC  
ARCH. JOB NO.: 2103A  
SCALE: AS NOTED

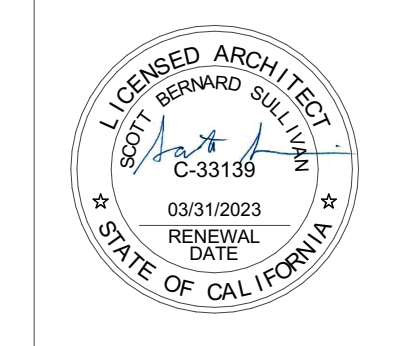




WING D- N-S BUILDING SECTION ①  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**  
 1. DEMO ALL EXISTING STRUCTURES  
 2. PREPARE SITE FOR PROPOSED NEW CONSTRUCTION;  
 SEE CIVIL PLANS

**RELATIVITY ARCHITECTS**  
 421 COLTON STREET, FLOOR 2, L.A. CA 90013 P. 310.573.4300

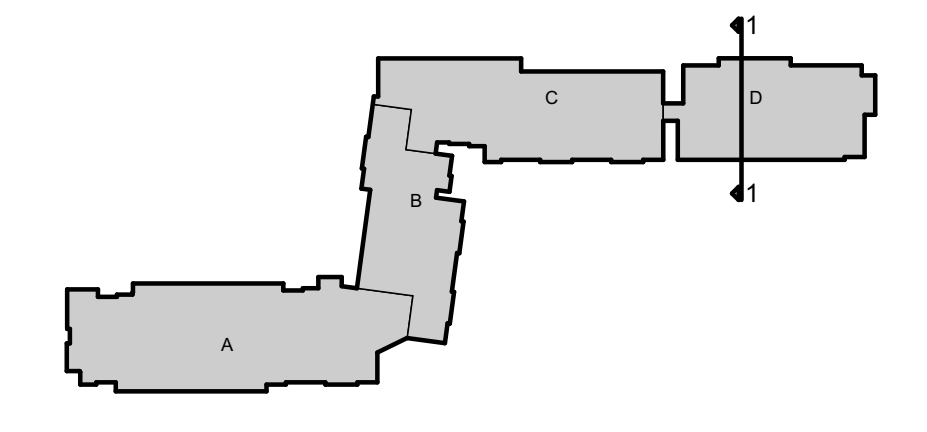


VISTA WOODS APARTMENTS  
 600 ROBLE AVENUE  
 1106 SAN PABLO AVENUE  
 1230 SAN PABLO AVENUE  
 PINOLE, CA, 94564

Wings D - Building Section (N-S)

DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION

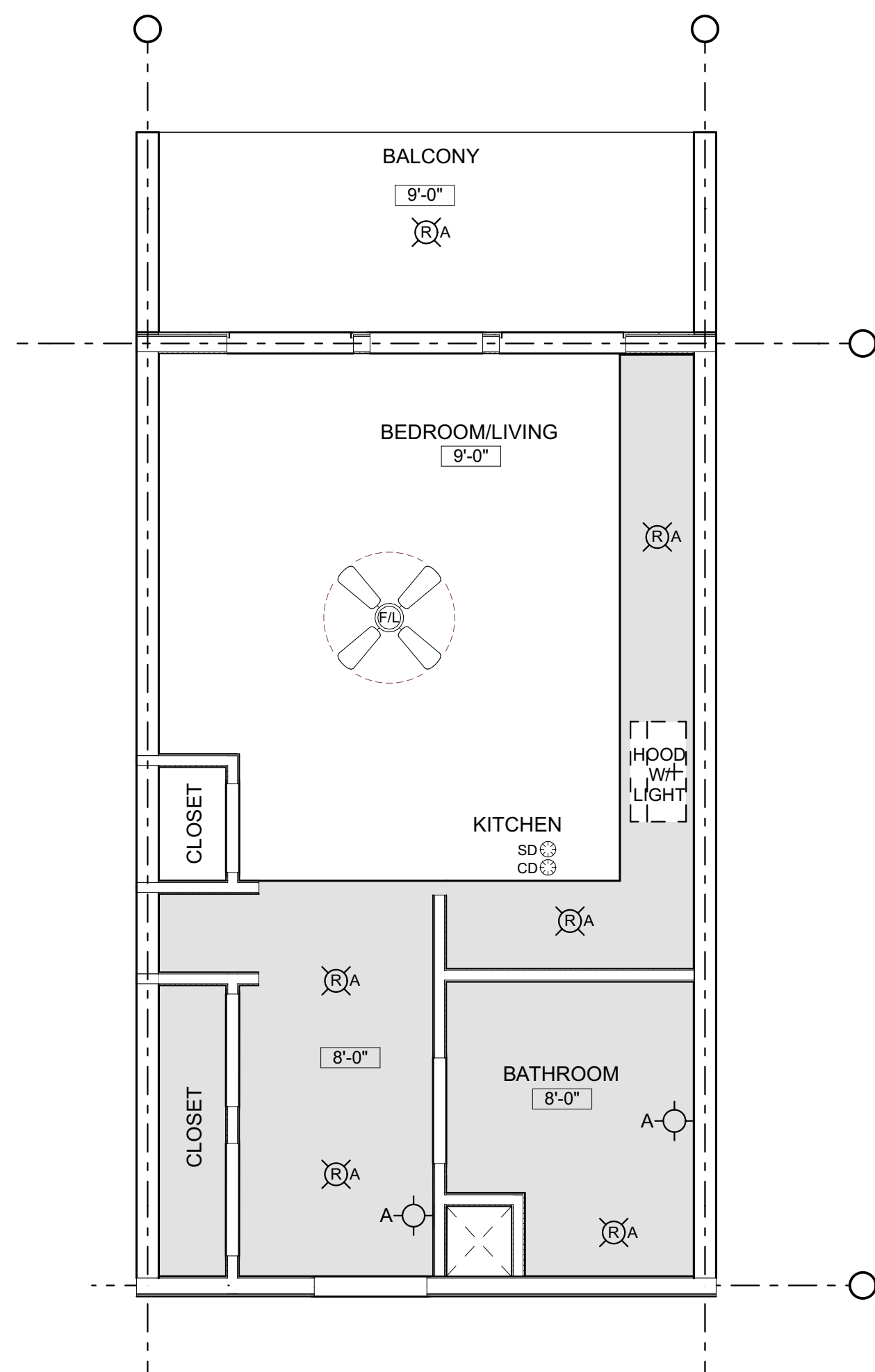
DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED



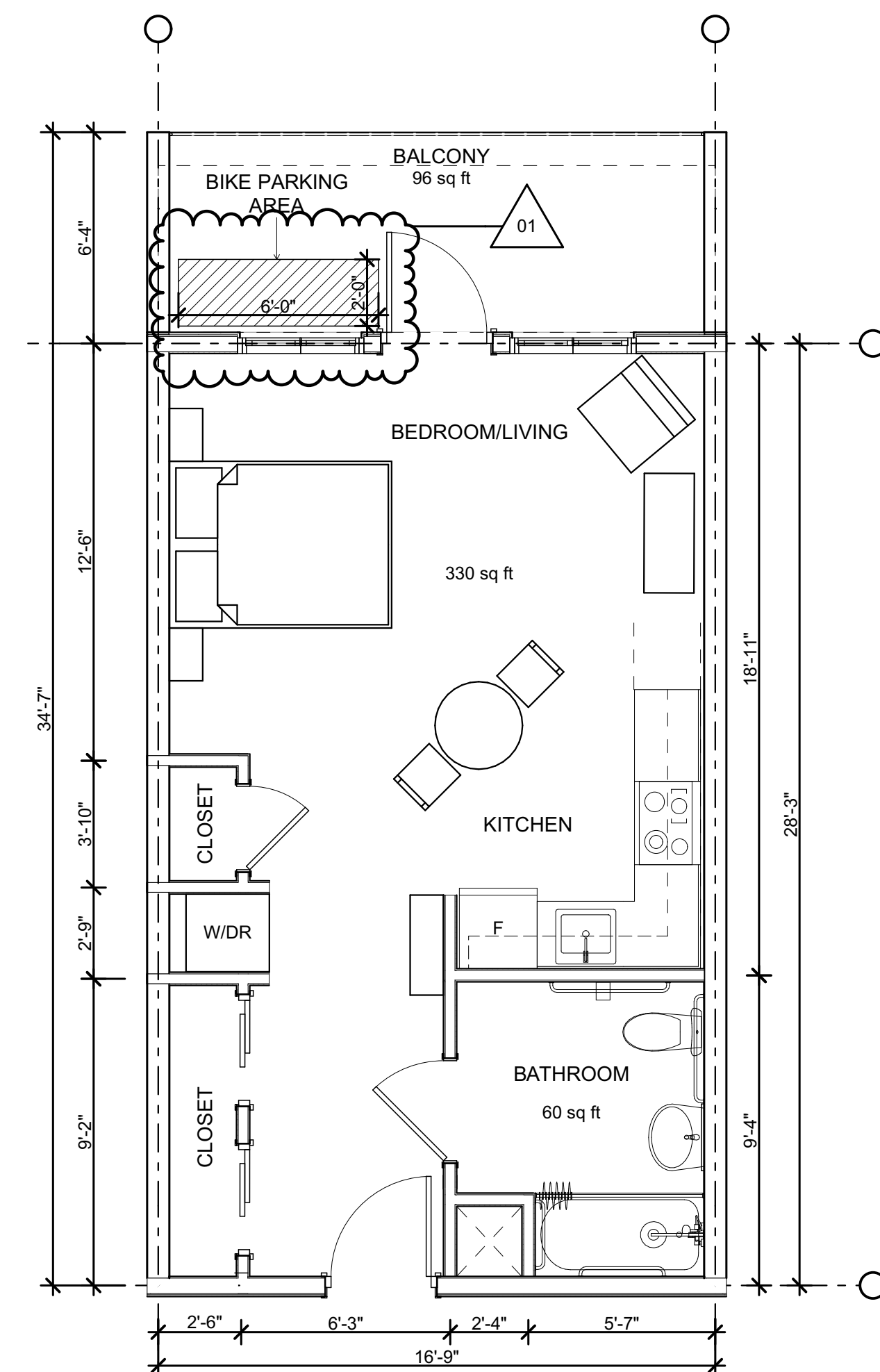
SHEET  
**A440**



RENDERING BY ARCHICAD 21.0.0.0 (6/1/2021)



STUDIO UNIT - TYPICAL RCP  
SCALE: 1/4" = 1'-0" ①



STUDIO UNIT - TYPICAL FLOOR PLAN  
SCALE: 1/4" = 1'-0" ②

01

**LEGEND**

- RECESSED LIGHT
- WALL LIGHT
- SMOKE DETECTOR
- CO2 DETECTOR
- FAN W/ LIGHT

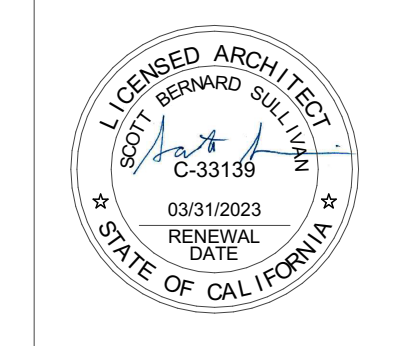
VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

Type A Studio - Floor Plan

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06/19/2021 <td>DEVELOPMENT APPLICATION RESUBMISSION</td>	DEVELOPMENT APPLICATION RESUBMISSION

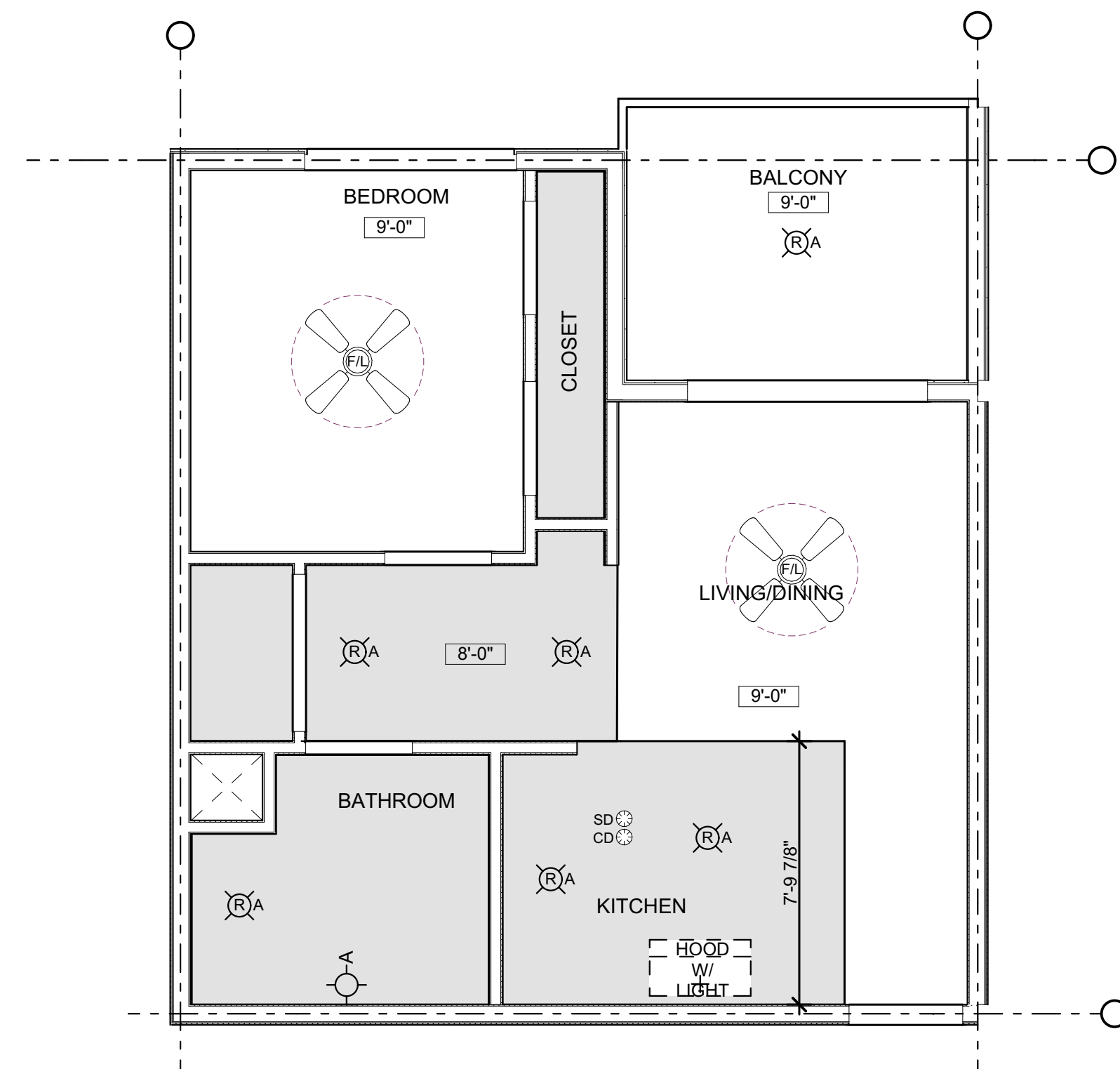
DRAWN BY: EC  
ARCH. JOB NO.: 2103A  
SCALE: AS NOTED

SHEET  
**A550**

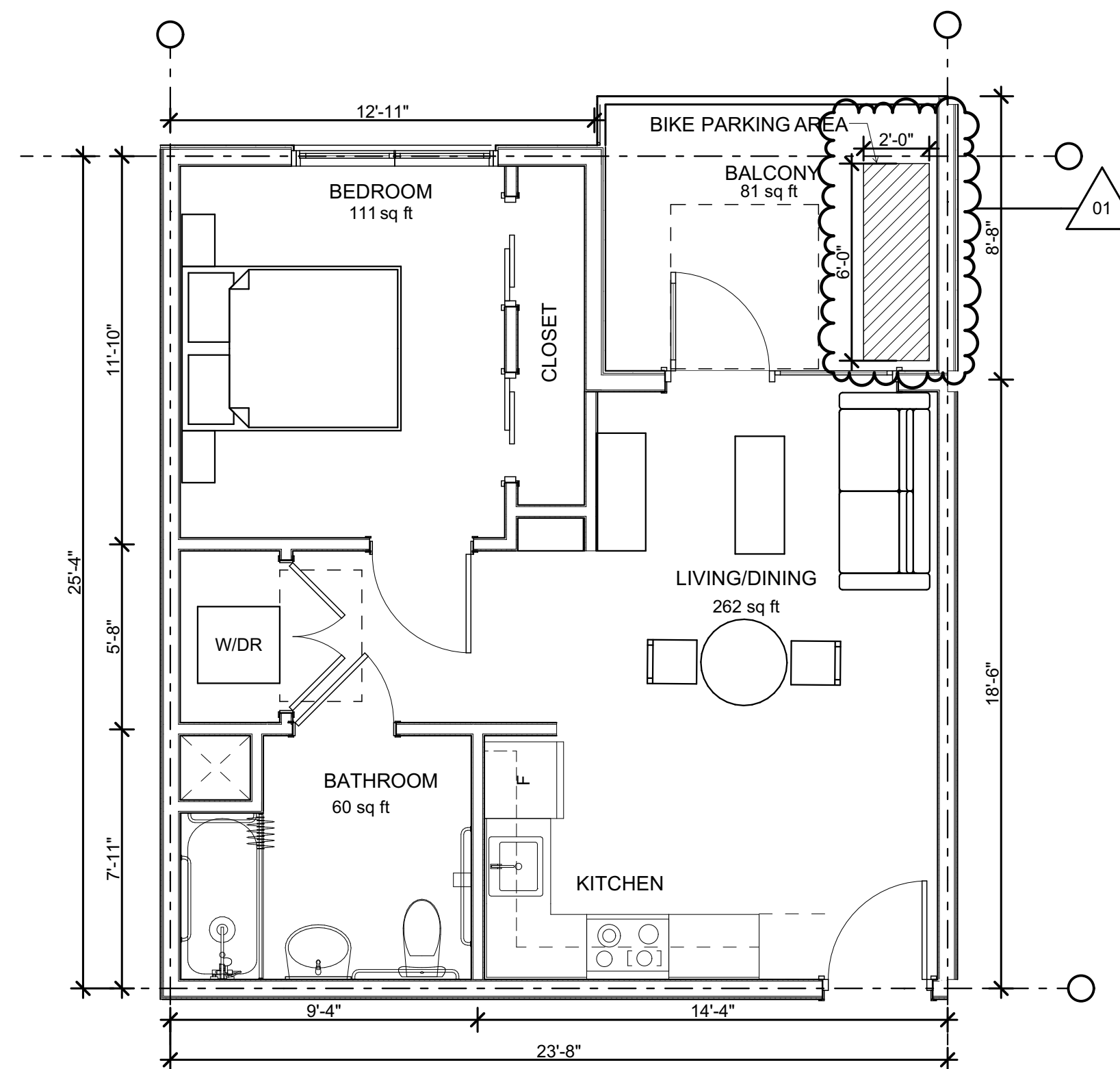


**RELATIVITY ARCHITECTS**  
421 COLTON STREET, FLOOR 2, L.A. CA 90013 P: 310.573.6300





1 BEDROOM UNIT - TYPICAL RCP  
SCALE: 1/4" = 1'-0" ①



1 BEDROOM UNIT - TYPICAL FLOOR PLAN  
SCALE: 1/4" = 1'-0" ②

01

**LEGEND**

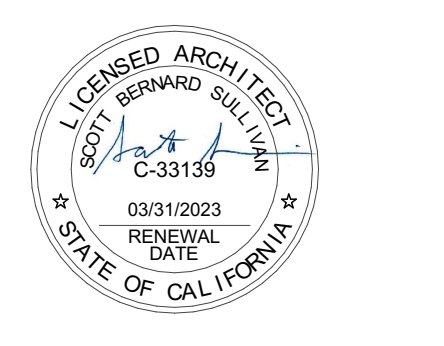
- RECESSED LIGHT
- WALL LIGHT
- SMOKE DETECTOR
- CO2 DETECTOR
- FAN W/ LIGHT

VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

Type B One-Bedroom - Floor Plan

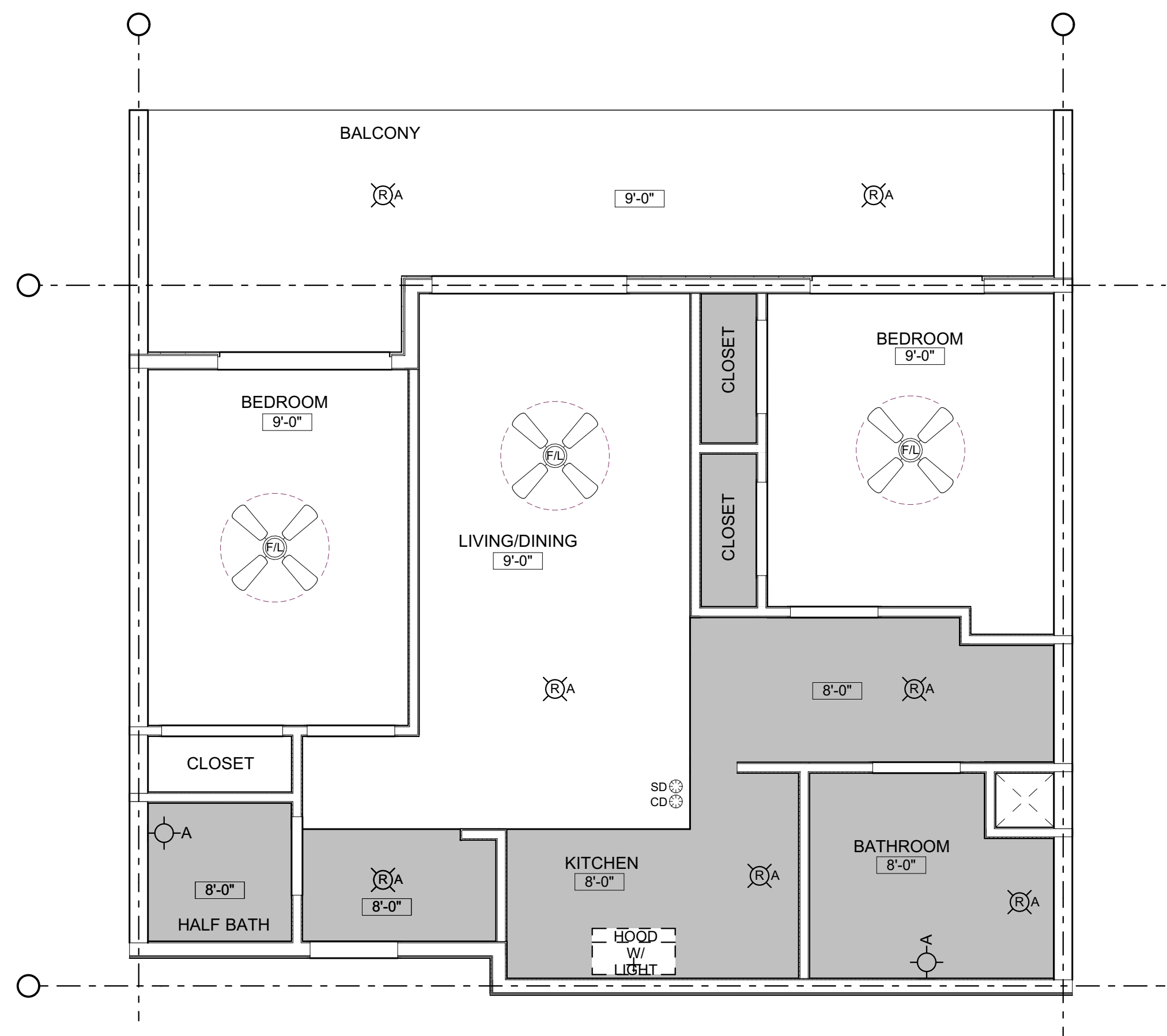
DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/19/2021	DEVELOPMENT APPLICATION RESUBMISSION
DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

SHEET  
**A554**

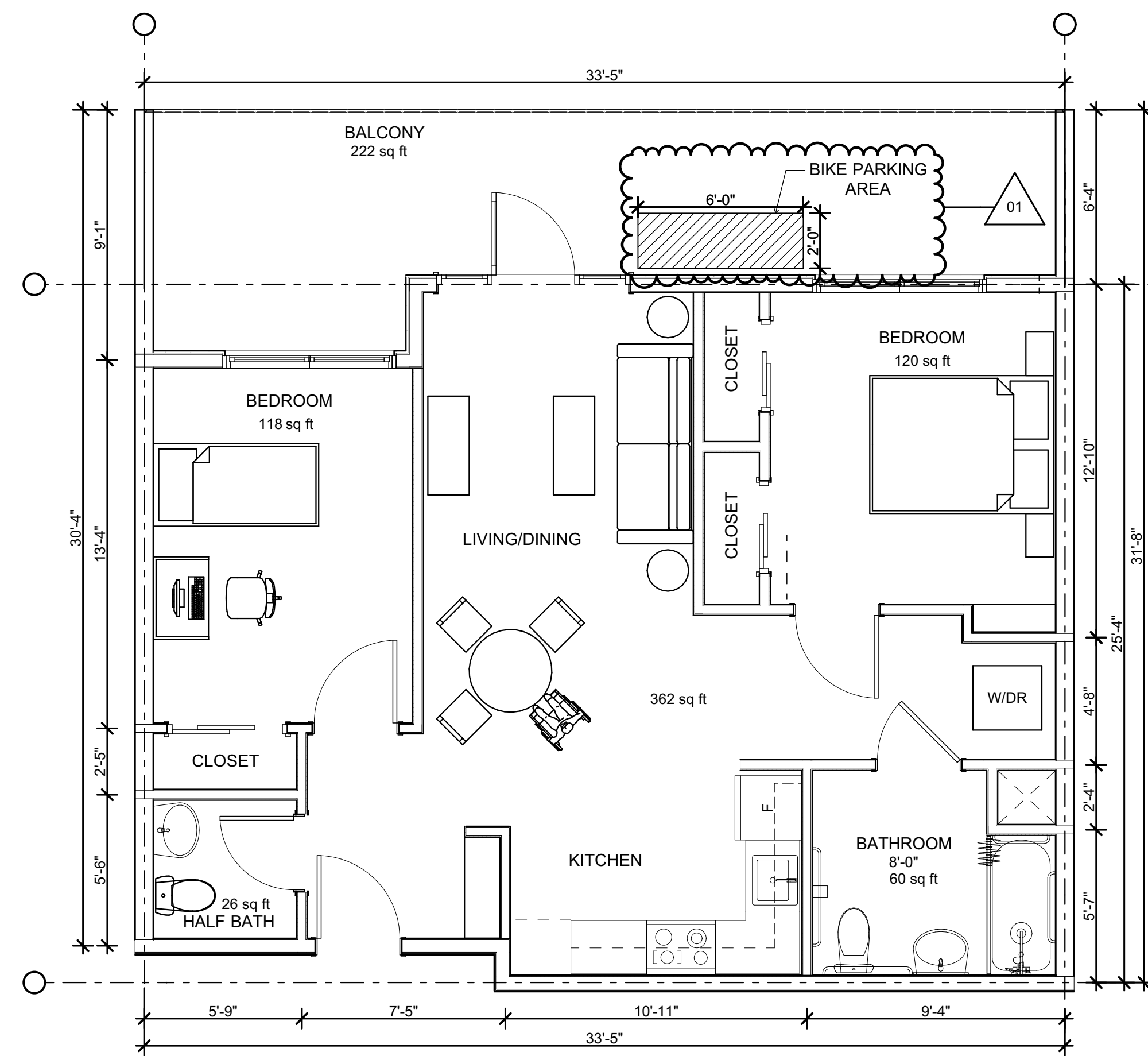


BIMBAID\_14705 - BIMBAID Back to ARCHICAD 2019/Rev. 06/19/2021

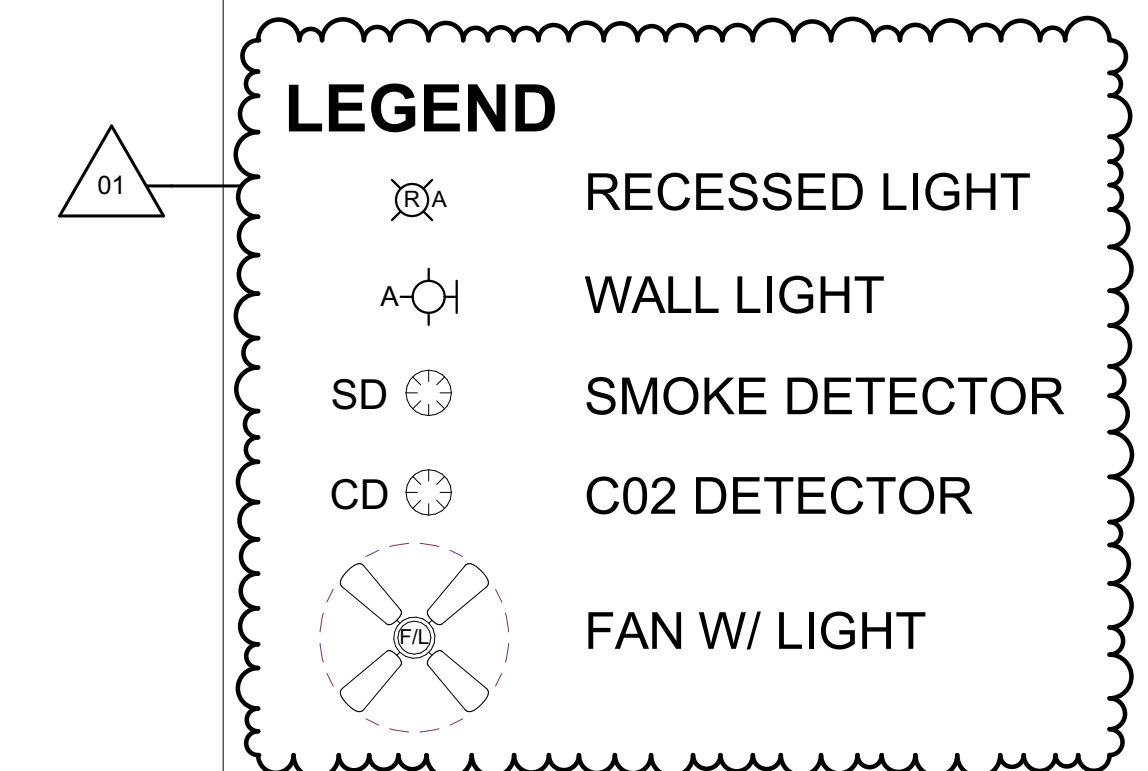




TYPE C TWO-BEDROOM - TYPICAL RCP  
SCALE: 1/4" = 1'-0" ①



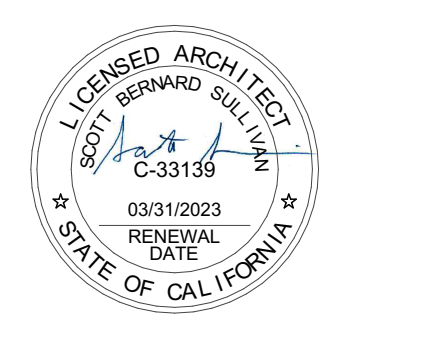
TYPE C TWO-BEDROOM - TYPICAL FLOOR PLAN  
SCALE: 1/4" = 1'-0" ②



VISTA WOODS APARTMENTS  
600 ROBLE AVENUE  
1106 SAN PABLO AVENUE  
1230 SAN PABLO AVENUE  
PINOLE, CA, 94564

Type C Two Bedroom - Floor Plan	
DATE	ISSUE
03/30/2021	DEVELOPMENT APPLICATION
06/10/2021	DEVELOPMENT APPLICATION RESUBMISSION
DRAWN BY	EC
ARCH. JOB NO.	2103A
SCALE	AS NOTED

SHEET  
**A556**



BIMBAO, JAVOS - BIMBAO/BLACK BY ARCHITECTS ARCHITECTURE 06/10/2021